

# Smedley Tract

MASTER SITE PLAN

MIDDLETOWN TOWNSHIP, DELAWARE COUNTY, PA



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# Middletown Township Smedley Tract Master Site Plan

May 2010

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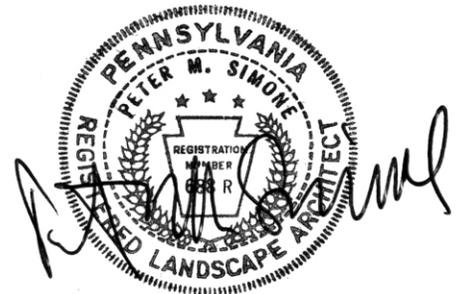


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## Chapter 1: Introduction

### Community Background Information

#### Regional Setting / Demographics

Middletown Township is approximately 13 square miles in size and is located in the central part of Delaware County, Pennsylvania. The Township is the third largest municipality in the County and is situated about 1 mile west of Media, the County seat. Philadelphia lies about 20 miles to the southeast. The 2000 Census counted a population of 16,064. Projections for 2010 are a total population of 16,254. Projections for 2035 are 16,880. Obviously, population of the Township has stabilized.

Based on the previous rapid growth in the Township (between 1990 and 2000, the growth rate was 13%), open space preservation became a priority in the Township. Over the last few decades the Township acquired over 640 acres of open space for both active and passive uses. This acquisition of open space was based on the objectives of the Comprehensive Plan and the Township Recreation and Open Space Plan.

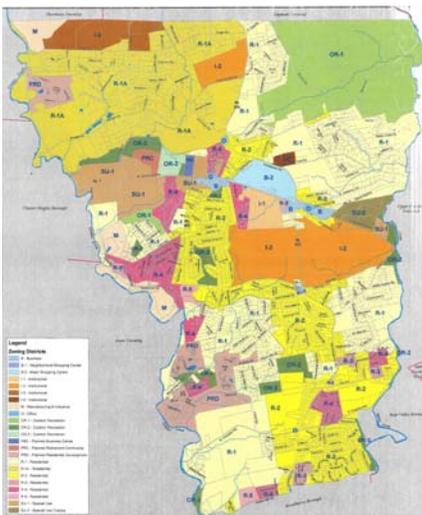
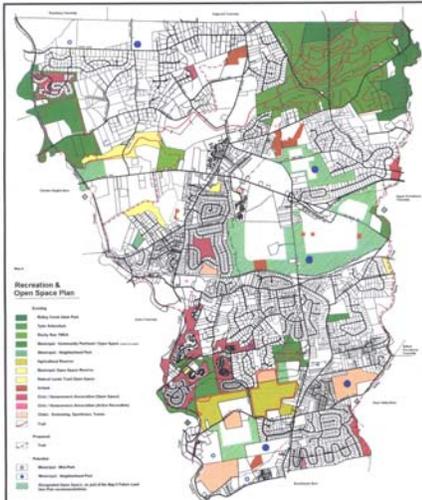
Township open spaces include:

- Lenni Park (neighborhood park)
- Darlington Park (community park)
- Knight Tract (community park)
- Indian Orchard Park (community park)
- Sleighton Park (community park—under construction)
- The Township utilizes the Rose Tree Media School District facilities for active recreation use.

The development of the Smedley Tract will be the second major active recreational facility after Sleighton Park's development.

Additionally, the Township is home to other large open space areas including:

- Tyler Arboretum
- Ridley Creek State Park
- Lands held by the Natural Lands Trust
- Penn State Brandywine Campus
- Homeowners Association Open Spaces in residential developments



### Relevant Planning Documents

#### Middletown Township Recreation & Open Space Plan

As an appendix to the Township's Comprehensive Plan, the Middletown Township Recreation & Open Space Plan was prepared in 2000. In that plan, it was recommended that between the years 2000 and 2020:

- five (5) to eleven (11) mini-parks should be developed
- three (3) to eight (8) neighborhood parks should be built.
- The plan is mute on whether community parks, similar to Sleighton Park and Smedley Park should be built. It is assumed that the Township reached the conclusion to develop these facilities after completion of the 2000 plan.

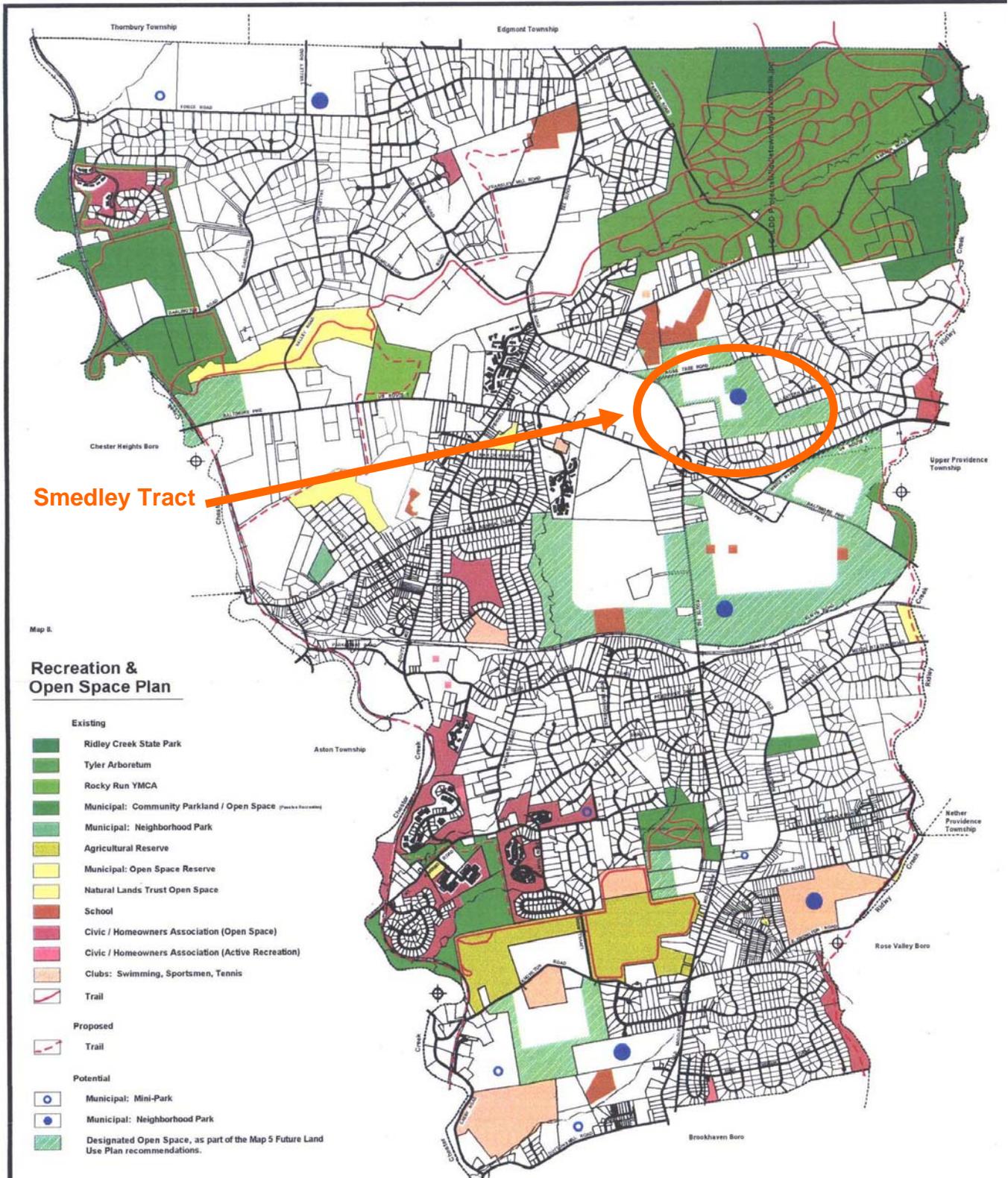
It should be noted that the Middletown Township Recreation & Open Space Plan utilized what are now considered out-of-date standards from the National Recreation and Park Association (NRPA), especially in regard to active recreational facilities. New NRPA standards focus less on facilities per capita. New NRPA standards utilize a Level of Service (LOS) calculation that is more exactly derived from actual participation levels at existing active recreational facilities.

As the Township builds Sleighton Park and as it embarks on the development of the Smedley Tract, it is recommended that the Township update its Recreation and Open Space plan based on these new standards.

#### Zoning Ordinance / Subdivision and Land Development Ordinance

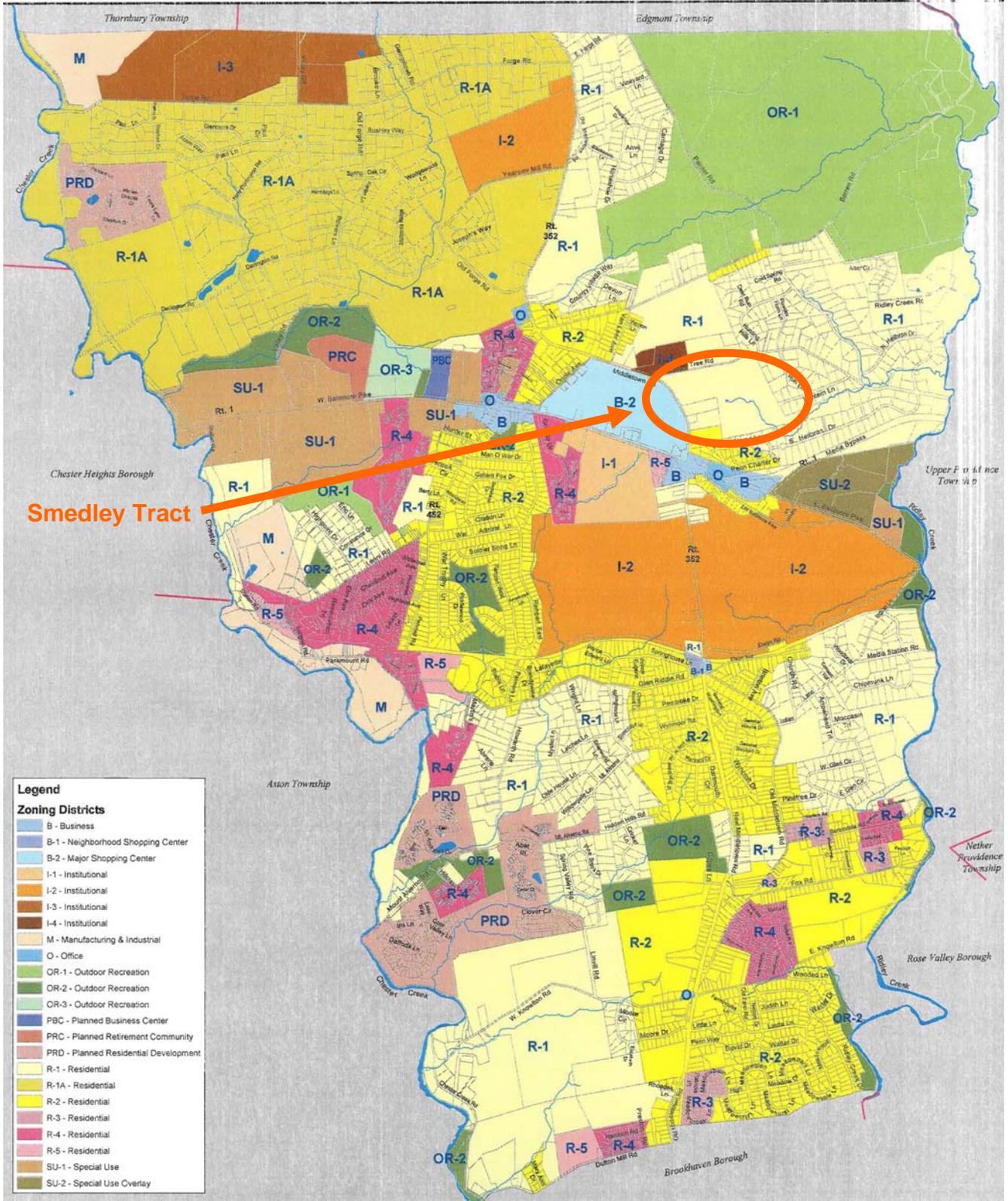
The Smedley Tract is zoned R-1 and open space for recreation and conservation purposes is a permitted principal use. The Subdivision and Land Development Ordinance contains a provision for open space set aside for each lot or each acre to be developed, as well as a fee-in-lieu of provision for open space funding.

# CHAPTER 1: INTRODUCTION

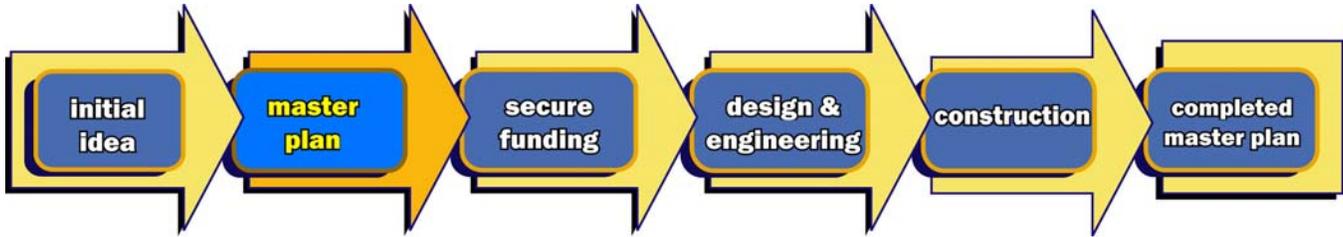


Parks and Recreation Plan Map from the 2000 Middletown Township Recreation & Open Space Plan

# CHAPTER 1: INTRODUCTION



Middletown Township Zoning Map



### **Master Plan Process/ Public Participation**

Public participation is a key ingredient in the success of any community project. Public meetings are designed to inform the public of the project status, and to solicit and receive input about desired facilities. The public's participation process also seeks to address any questions, comments, or concerns relative to the proposed improvements at Smedley Tract Park.

The completion of the Master Site Plan is an early stage in the process of constructing new facilities at Smedley Tract Park. As shown in the graphic above, the goal of the Master Site Plan study is to develop a general consensus for what facilities should be constructed and to establish an estimate of probable construction costs that can be used for developing an implementation strategy.

The Master Site Plan forms the basis of future design and engineering phases of the project when detailed design decisions are documented through the completion of construction drawings. Upon completion of these construction documents, the project can then be bid and constructed. It is important to consider that implementation of proposed development will occur in phases over the coming years as project funding is available.

The ten month master planning process began with a project kick off meeting with Township staff and the park committee. The planning process included three public meetings; the first of which was held on Thursday, October 29, 2009 at the Middletown Township Building to review the Park's programming. The second public meeting was held on Tuesday, December 15, 2009 to review design options. The third was held Tuesday, March 16, 2010 to present the Draft Plan. The final meeting is to be held in June 2010 to present the Pre-Final Plan to the Township Council. The focus of these meetings was to encourage the public to provide input relative to the facilities and development that they would like to see at Smedley Tract Park.

A total of five Steering Committee meetings and one site walk with the committee and public were held. During the meetings the consultant team presented analysis findings, conceptual designs, and pre-draft plan recommendations to the committee for review and discussion. Attendance records and notes from all public meetings and steering committee meetings are included in the report appendix.

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## Chapter 2: Site Analysis

### Data Collection / Methodology

A boundary survey was produced in September 2005 by G.D. Houtman & Son, Inc. Civil Engineers-Land Surveyors and obtained in 2009 from the Surveyor for master planning purposes. GIS data including topography, soil, and cultural resources compiled for the 2001 comprehensive plan were provide by the township for master planning uses. The consultants visited the site on 9/16/2009, 10/01/2009, and 10/29/2009 to photo inventory existing conditions and perform basic site reconnaissance. Additional site reconnaissance was conducted with the steering committee and public on 10/3/2009.

### General Site Data

#### Existing Land Use and Zoning

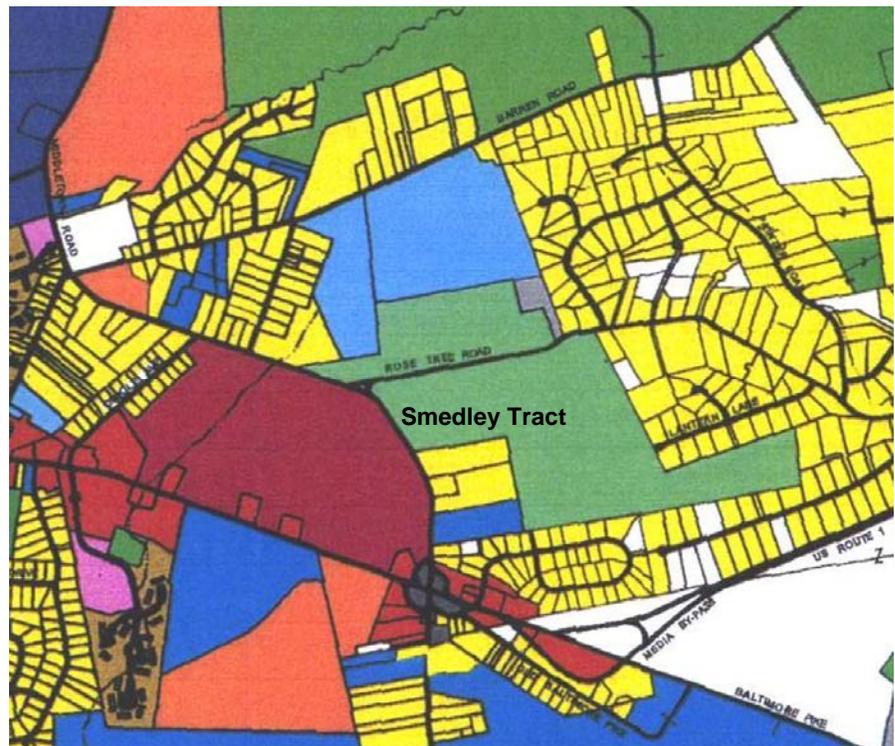
The Smedley Tract is located in the R-1 Middletown Zoning District. Noncommercial recreational and municipal uses are primary permitted uses within the R-1 zoning district.

In 2001, the Smedley Tract and adjacent Smedley homestead, located north of the site across Rose Tree Road, land uses' were considered agricultural. Penncrest High School, also located to the north across Rose Tree Road, is an institutional land use. Located to the west to the site across Middletown Road is Granite Run Mall, a regional commercial land use. The majority of the land directly adjacent to the site along the west, south, and east borders are primarily residential.

#### Existing Land Use



NOTE: The information on this map is accurate through June 20, 2000.



Existing Land Use Map - Middletown 2020: A Smart Growth Initiative, Adopted 2001



### Deed Restrictions and Site Easements

As part of the purchase of the Smedley Tract by the Township deed restrictions were placed on the site to guide the future development of the site (a full copy of the deed restriction can be found in the appendix of this report).

The restrictions fall into three types:

- Restrictions concerning existing structures
- Restrictions concerning Field Area "A" and "B" uses
- Restrictions concerning the balance of the Site.

The deed restriction does not allow for the construction of any new buildings outside of the existing building footprints. It also requires that the four existing residences must remain as single family residences:

- 79 Middletown Road - Oaklawn
- 746 Rose Tree Road - Hilltop
- 742 Rose Tree Road - Springhouse
- 740 Rose Tree Road - Longview

The two existing barns may be used for community uses (specific uses are listed in the deed restriction in the appendix of this report).

Two field areas are defined as Field Area 'A' 10.0 acres and Field Area 'B' 11.1 acres. Uses in this area can include parking and active recreation, however no permanent structures such as fencing and pavilions may be



West Rose Tree Road looking west toward site entrance.



Site entrance along West Rose Tree Road.

built in this area. The remainder of the site outside of the building area and field area is to be maintained as natural areas with trails being permitted.

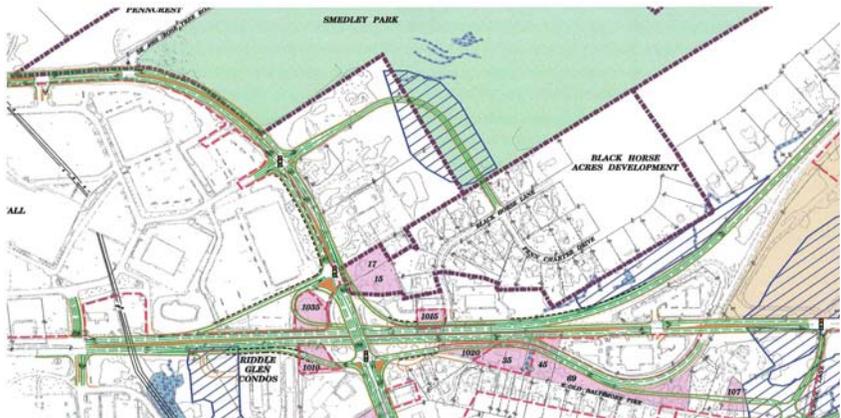
### Site Ingress/Egress

The park has significant frontage along West Rose Tree Road, a PennDOT roadway (SR 4002). The two lane road is without shoulders, with vegetated drainage ditches on either side. There are no existing curbs, sidewalks, medians, or guide rails in the vicinity of the park site. The legal right-of-way width is 33 feet. The posted speed limit is 35 mph, but many vehicles appear to exceed the speed limit.

The existing driveway entrance for Smedley Tract is situated centrally along the road frontage, near the crown of the hill. On the eastern and western portions of the frontage, the road is steeper than 3%. The longitudinal slopes are less steep in the middle section, with a portion of the road at the summit being nearly flat. [Note: These observations are based on the limited topographical data which we have available at this time.] Site distances along the roadway are generally good.

### US Route 1 and PA Route 352 Interchange

PennDOT has explored concepts for modifying the intersection of US Route 1 and PA Route 352. Should they come to pass, these plans could have an impact on the Smedley tract. While there are various plans under consideration, generally, when the new interchange is constructed, Blackhorse Lane would be extended to the north and then curve to the east to Middletown Road (Rt. 352) to provide local access. This may provide the opportunity for another park access and this is indicated as a possible future connection on the master plan.



One PennDOT option shows the extension of Blackhorse Lane through the southwest corner of the park to Middletown Road.

### Potential Contamination

There is evidence of some benign old farmstead dumping, however at this time there is no knowledge of any possible fuel spills, contamination, or other sources of hazardous waste.

### Utilities

#### Potable Water

There is an existing 8" water main available in West Rose Tree Road. It is owned and operated by Aqua Pennsylvania, Inc. There are several existing fire hydrants in the vicinity of the Smedley Tract Park.

- #746 West Rose Tree Road (8" AC pipe)
- Intersection of West Rose Tree and North Middletown Roads (8" AC)
- Intersection of Blackhorse Lane and Penn Charter Drive (6" AC)
- Intersection of Lantern Lane and Spring Run Lane (6" AC)

Note: The latter two mains are connected by an 8" AC line which runs through the Smedley Tract. It is presumed that an easement exists for this pipe.

According to informal interviews, there should also be one or more abandoned water wells on-site in the vicinity of the existing structures. The locations of these possible wells should be determined prior to phase 1 construction activities at the park.

#### Sanitary Sewer

There is an existing system of private sewer laterals connecting the three houses within the farmstead to a common septic tank downhill behind the spring house. The laterals appear to be comprised of 4-inch PVC piping with cleanouts at frequent intervals. However, although this system appears to be functioning acceptably for the two occupied residences, the existing septic tank does not comply with current standards and should be abandoned when connections to public sewers are made.

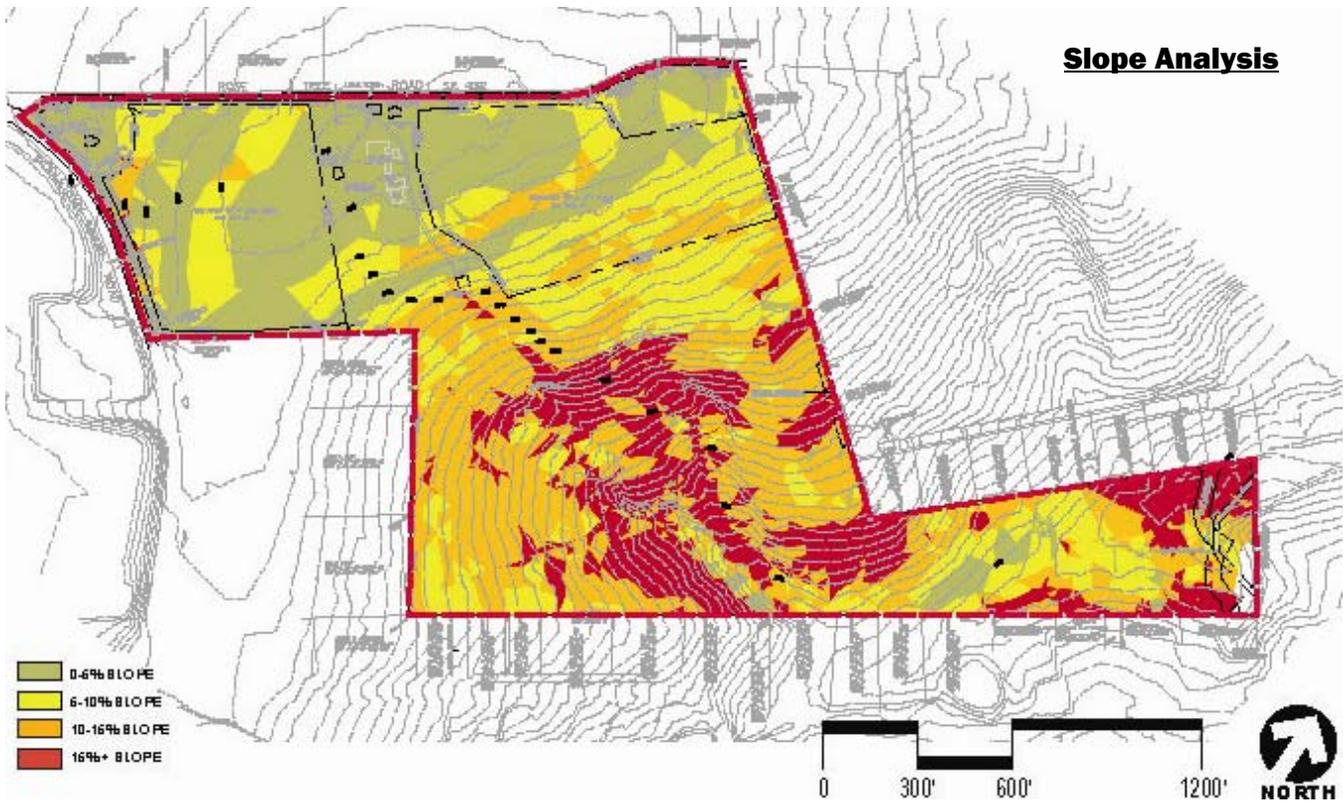
There is no sewer main in West Rose Tree Road along the tract frontage. The Delaware County Sewer Authority does have existing sewers in the vicinity:

- West Rose Tree Road near Hunting Hills Road
- Cul-de-sac of Lantern Lane
- Intersection of Blackhorse Lane and Penn Charter Drive

The existing house—Oaklawn—on the corner of North Middletown Road and West Rose Tree Road (#79, owned by the Township) is not sewered.

#### Natural Gas

There is an existing gas main in West Rose Tree Road (size and pressure unknown).



A majority of the site is dominated by forested steep slopes.

**Electricity**

There are electrical wires on the poles along West Rose Tree Road owned and operated by PECO. The capacity is unknown at this time. Contact with PECO should be made to determine the voltage, phase, and amperage available at time of design.

**Stormwater Infrastructure**

The only existing storm sewer is along West Rose Tree Road located near the intersection of Middletown Road (Route 352).

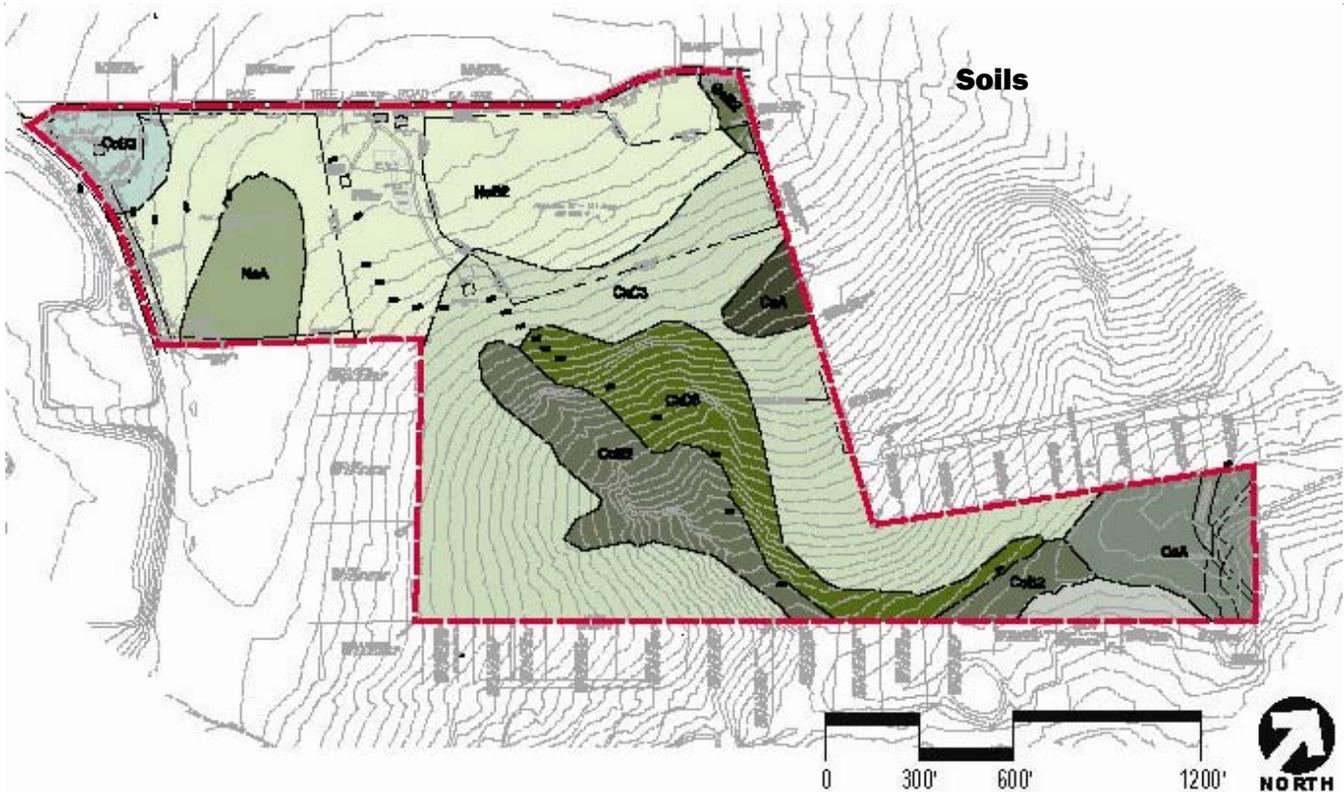
**Communications Tower**

An existing communications tower (Lima, PA site #10316) owned by Middletown Township and leased to American Tower is located in the northern portion of the site. An easement for the owner/operator to access and maintain the tower are along the barely defined access road from the existing site entrance to the tower. Continuation of this use and access are provided for in the deed restrictions.

**Natural Features**

**Topography**

West Rose Tree Road runs along a ridge line. The high point of the site and Township is located at the site entrance. Most of the tract runs southward and eastward toward Spring Run, which is a tributary to Ridley Creek. The park site exhibits a two hundred thirty five foot change in elevation between the low point at the east edge of the site to the high point.



The majority of the park site has slopes that range from three percent to fifteen percent. The majority of the gentle slopes (0-5%) are located in the areas defined by the field easements. The areas of extreme slope (15% +) are located in the woodland areas in the central and east portion of the site.

**Vegetation**

The park site is comprised of agricultural fields, old residential plantings around structures, and forested areas. The woodland areas have a well established tree canopy and limited understory. Some areas are dominated by mature beech stands. Areas of disturbance have taken on meadow vegetation with some invasive species. A Pennsylvania Natural Diversity Inventory search (PNDI) was conducted. The PNDI records (see appendix) do not indicate any known impacts on special concern species and resources within the Park project site.



*Agricultural fields and existing trees along Rose Tree Road.*



*Typical Woodland vegetation.*

**Soils**

According to the NRCS Web Soil Survey, most of the soils are well drained. Those located at the higher elevations are categorized as Hydrologic Soil Group B, which is favorable rating (this determination is subject to site-specific investigations and testing).

**Hydrology**

The site hydrology is defined by a site spring that originates in the northern part of the woods and flows south east before leaving the site. There are some signs of erosion along the stream banks.

According to the Flood Insurance Rate Map (FEMA #42045C0031D,



Woodland Beech stand.

September 30, 1993), there is only a small area of designated floodplain at the eastern end of the tract. It parallels the stream channel between Lantern Lane and South Heilbron Drive.

The site drains into the Spring Run, which is a tributary to Ridley Creek. The portion of Ridley Creek to which Spring Run drains is classified as HQ-TSF (High Quality-Trout Stocking Fishery). An Act 167 Stormwater Management Plan has been prepared and adopted for this watershed.

### Opportunities and Constraints Summary

Aside from the site's deed restrictions, the physical conditions of the site provide for the following opportunities and constraints.

#### Opportunities & Constraints:

Field "A" on the eastern portion of the site is relatively flat and with minimal grading, will lend itself to development for active play fields and parking. This area could also continue being used for agriculture. Field "B" to the west of the site, has steeper slopes and less of this area is suitable for development for active play fields and parking. Similar to field A, this area could also continue to be used for agriculture.



Area of disturbance within woodland. Matted meadow grass indicates bedding area for deer.

The site's wooded areas have remained forested primarily due to their steep slopes. While the deed restrictions prohibit their development, they are not conducive to development and their continued maintenance as forest with sensitive trail access is their most appropriate use.

The area of the farmstead—with Hilltop, Main Barn, Test Barn and Longview, and Spring House is a cultural landscape that recalls the Township's history which has mostly vanished. It has tremendous potential for preservation and adaptive reuse for both park activities and as a cultural landscape that interprets the area's agrarian heritage.

Analysis and potentials uses for the site's structures is addressed in Chapter 3 of this report.



Existing stream in lower (southern) area of the site. .

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## Chapter 3: Existing Building Assessment

### Introduction

The farm buildings and dwellings on the Smedley Tract are vestiges of the agricultural heritage of Middletown Township. The farm historically included property on both sides Rose Tree Road, including the property now occupied by Penncrest High School and the “Penncrest Farm” residence across the road from the Smedley Tract, which was the main farmhouse for the combined property. Uses for the buildings – 2 barns, 4 residences, and an outbuilding – are restricted by the terms of the “Declaration of Restrictions” attached to the deed for the property. Preservation of the buildings is highly recommended, for several reasons:

- The historic farmstead has a high level of architectural integrity and warrants preservation as part of the Township’s overall goals for heritage conservation.
- Following an initial period of capital investment, the 4 residences should be economically self-sustaining.
- The barns can be utilized to serve the building facility needs for the new park.



Figure 3.1. Bank Barn Complex, view from east. Buildings from left to right are: Test Barn, Longview Residence, Bank Barn, and Hilltop Residence. The silhouette of the dairy is the iconic image of the Smedley Tract and the planned park.

### Bank Barn

#### Building Description

The Bank Barn is the most prominent building on the Smedley Tract, and its pair of terra cotta silos and east gable end have become the defining graphic icon for the park. Originally built as a stone bank barn measuring 37’-3” wide by 56’-2” long, the bank barn was expanded in the 19<sup>th</sup> century with the construction of a supported forebay measuring 16’-2” deep by 68’-1” long, extending beyond the length of the south wall of the original barn by about 12’ at the southeast corner. The original date of the barn is not known, but “1812” is carved in one of the horizontal boards in the center bay of the threshing floor. At the southeast corner, the forebay turned 90 degrees southward to form an ell measuring 32’-8” long by the same 16’-2” forebay depth. At the north side there are three outsheds, a cross-gabled one at the ramp and a shed-roofed ones at the northeast and northwest corners. Connected to the northeast corner outshed are two passages to the terra cotta silos, both built as part of the 1920s expansion of the dairy operation. The silos are constructed of a patented structural clay tile (terra cotta) system employing curved structural clay tile units and steel reinforcing bands.



Figure 3.2. Bank Barn, view from north. The original north wall of the barn is concealed by the two visible outsheds. The ramp outshed roof form was an addition, but the foundations and plan appear to be original.

At the east gable end of the barn is a gable-roofed addition measuring 21’-10” long by 22’-2” wide, connected

to the forebay extension by an open breezeway. The building was constructed to house a milk cold storage room, well, and pressurized water system, all part of the 1920s dairy expansion. Walls are constructed of stucco-finished structural clay tile over concrete foundations. Interior and roof framing is dimensional wood.

The southeast extension of the forebay (hereinafter, SE wing) was originally constructed with a stone masonry east wall, conical stone columns at the west side, and clapboard siding and a pair of wagon doors at the south gable end. The ground floor of the SE wing has been infilled with stucco-finished terra cotta, and the most recent use for the ground floor was a motorcycle repair shop. Since the abandonment of dairy operations at the ground floor of the bank barn, the dairy stanchions have been removed, the gutters demolished, and a continuous concrete slab-on-grade installed. Also, the south wall of the original barn (the line between the original barn and the ground floor of the forebay) has been demolished at the ground floor and replaced with steel pipe columns supporting a pair of heavy steel I-beams.

### Building Data Summary

Area of ground floor plan:

Original barn and outsheds: 2,570 square feet

Expanded barn: 4,365 square feet

Gross building area:

Original barn: 5,140 square feet

Expanded barn: 8,990

Exterior wall construction: Original barn: pointed stone; threshing floor of forebay and outsheds: clapboard siding; silos: exposed structural clay tile; cold storage

room and ground floor of forebay enclosure: stucco over structural clay tile.

Roofing: typical: asphalt shingle; silo roofs: sheet copper.

Windows: Wood barn sash.

Doors: Vertical board doors, replacement paneled doors.

Mechanical system: Ductwork remaining from passive (?) ventilation system; historic refrigeration equipment in cold storage room.

Plumbing: Elaborate water system and cold storage piping in cold storage room.

Electrical system: Modern subpanel in SE wing; other wiring obsolete.



Figure 3.3. Bank Barn, view from the east. The one-story building in the foreground is the Dairy Cold Storage. The two silos, dating from the 1920s, are constructed of architectural clay tile.



Figure 3.4. Bank Barn, interior of the threshing floor, looking east. Note the large hole in the roof. Note also the unusual vertical planking of the east wall, installed to provide ventilation between stored hay and the stone gable end wall.

Site utilities:

Electric: Subfeed from adjacent building (?)

Water: Abandoned well in pit connected to Cold Storage Room

Gas: No

Telephone: No

**Condition Assessment**

Because of years of abandonment, the bank barn roof is in a state of partial collapse. Major roof leaks at the center of the south slope of both the original barn and the forebay have resulted in the loss of more than 1/2 of the roof framing of the forebay and approximately 1/3 of the roof framing of the south slope of the original barn. The flooring of both the forebay and the center-south area of the main barn is also rotted, and it is highly likely that there is deterioration in the wood floor joists as well. At the ground floor level, portions of the wood-panel ceiling have fallen because of the water penetration. Although the steel

beams supporting the south wall of the original barn appear in fair condition, continued rain exposure threatens their integrity as well.

The pointed stone walls of the barn are in good condition. Although the mortar, which appears to date from the mid-20<sup>th</sup> century, is a hard Portland-cement mortar, the stone is also very hard and the walls are well preserved. At the southwest corner of the threshing floor, there is a vertical crack in the stone masonry, probably caused by a combination of the disturbance to the south wall when the steel beams were inserted at the level of the threshing floor and the lateral loading of the south wall resulting from the failed roof rafters. The east wall of the SE wing leans outward because it was built without adequate bracing, and would require buttresses to be retained. All asphalt shingle roofing requires replacement. The conical sheet copper roofs of the two silos require repair in the case of the northeast silo and replacement in the case of the east silo. Doors, windows, and wood siding are generally in fair to poor condition.

Unless there is a public need for a 9,000 square foot building, it is recommended that the building be reduced in size and mothballed for future adaptive use or long-term stabilization. The scope of building stabilization is summarized as follows:



Figure 3.5. Bank Barn, interior of the ground floor from the northeast. Although a large, open area, the low ceiling height limits the usability of the space.



Figure 3.6. Bank Barn, view of partially collapsed forebay.

### Emergency Stabilization

- Demolish the timber frame portions of the forebay and the upper half of the east stone wall of the SE wing.
- Construct a wood frame shoring wall from the ground floor of the original barn, through the threshing floor, to support the missing/rotted roof rafters.
- Fill in the rotted roof framing with modern wood framing and provide a temporary metal panel roof over the entire south slope of the barn.
- Provide cables and turnbuckles to at the 1/3-points of the top of the south stone wall of the original barn.

### Long-Term Stabilization

- Construct a masonry (CMU) wall under the existing steel beams supporting the south wall of the original barn.
- Provide a new metal panel or asphalt shingle roof for the entire barn.
- Provide new sheet copper roofing at the silos.
- Address the steel retainer bars at the silos.
- Secure all doors and windows.
- Provide passive ventilation through the building, incorporating existing roof ventilators.
- Cap the conical stone piers and walls of the forebay.

### Options For Adaptive Use

By the terms of the “Declaration of Restrictions” the two barns on the property are limited to 13 specified uses. The allowed uses and their suitability to both the building and the park are as follows:

- A. Storage of field maintenance equipment and supplies: Lawn mowers and small equipment could be stored in the ground floor of the barn, accessed from the south side (through the demolished forebay). However, there is not headroom for tractors or trucks.
- B. Storage of sports equipment: Equipment could be stored at both levels of the original barn. If portable bleachers could be built on a rolling frame (wagon), they could readily be stored on the threshing floor.

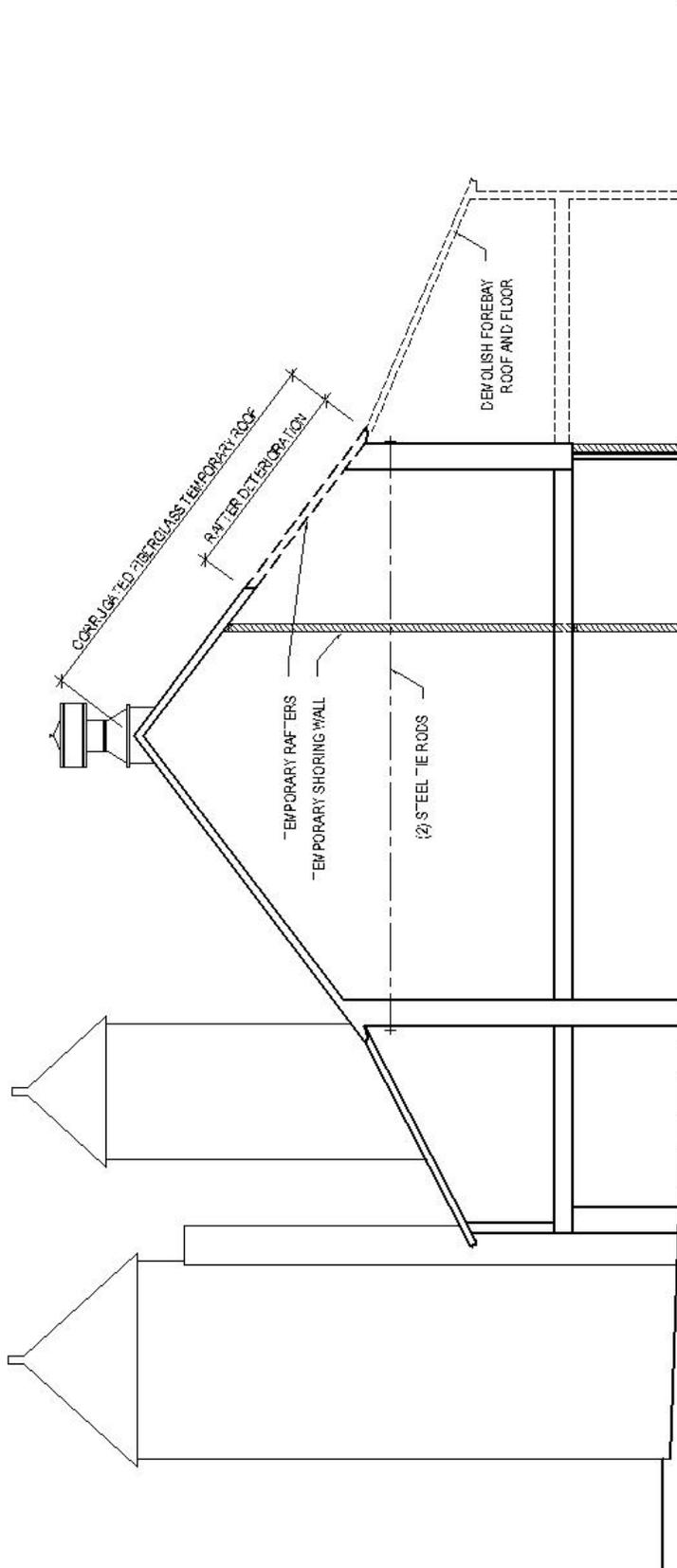


Figure 3.7. Bank Barn, view of southeast wing. Originally built as an open-air extension of the forebay, the southeast wing has been enclosed. The back (east) wall is severely leaning and should be taken down to a stable height.

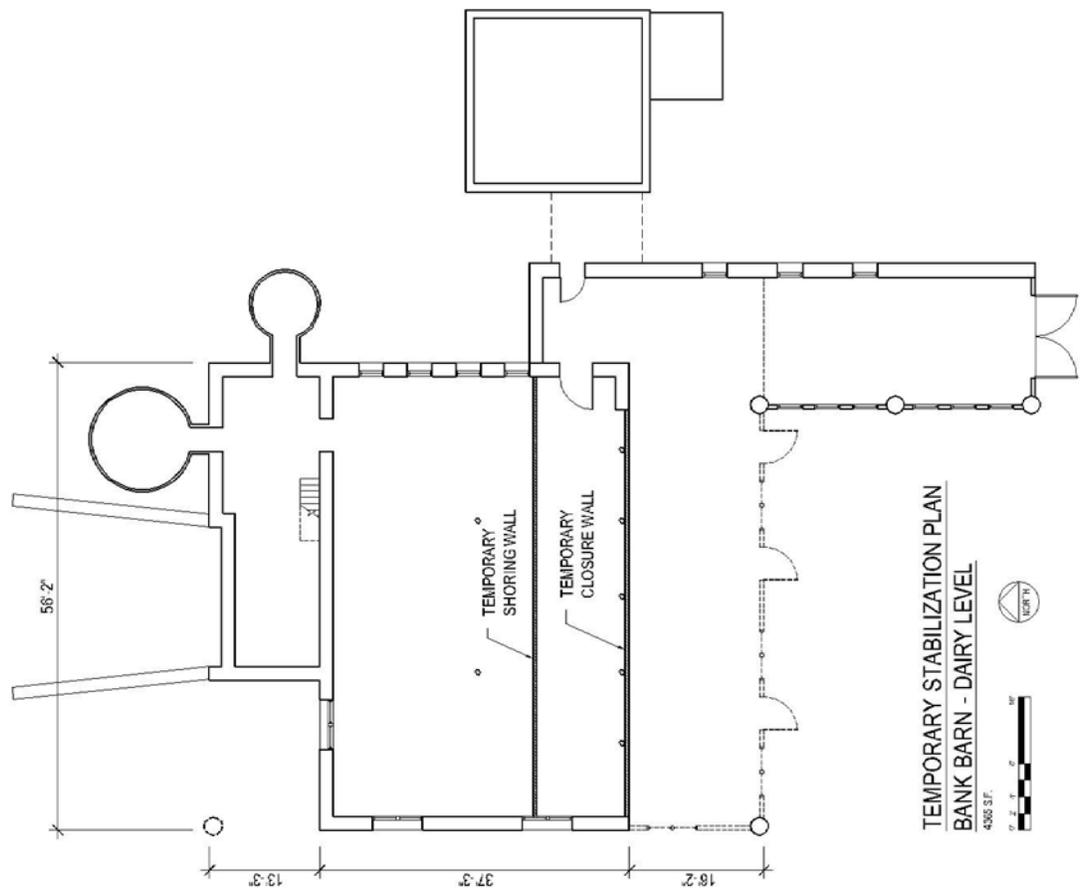
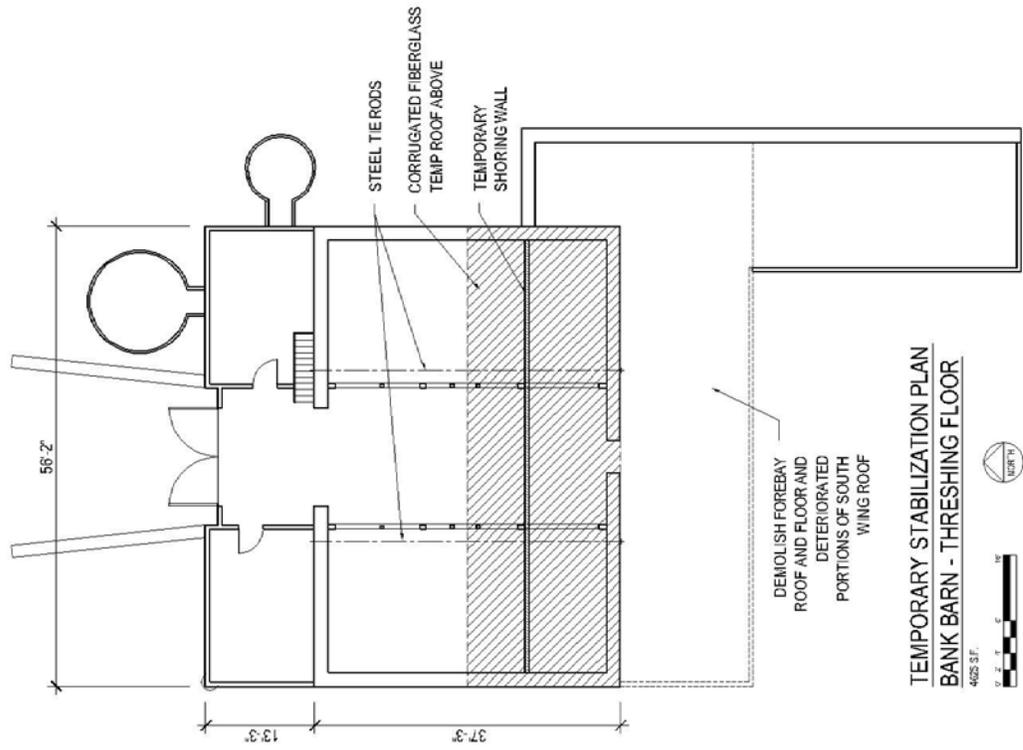


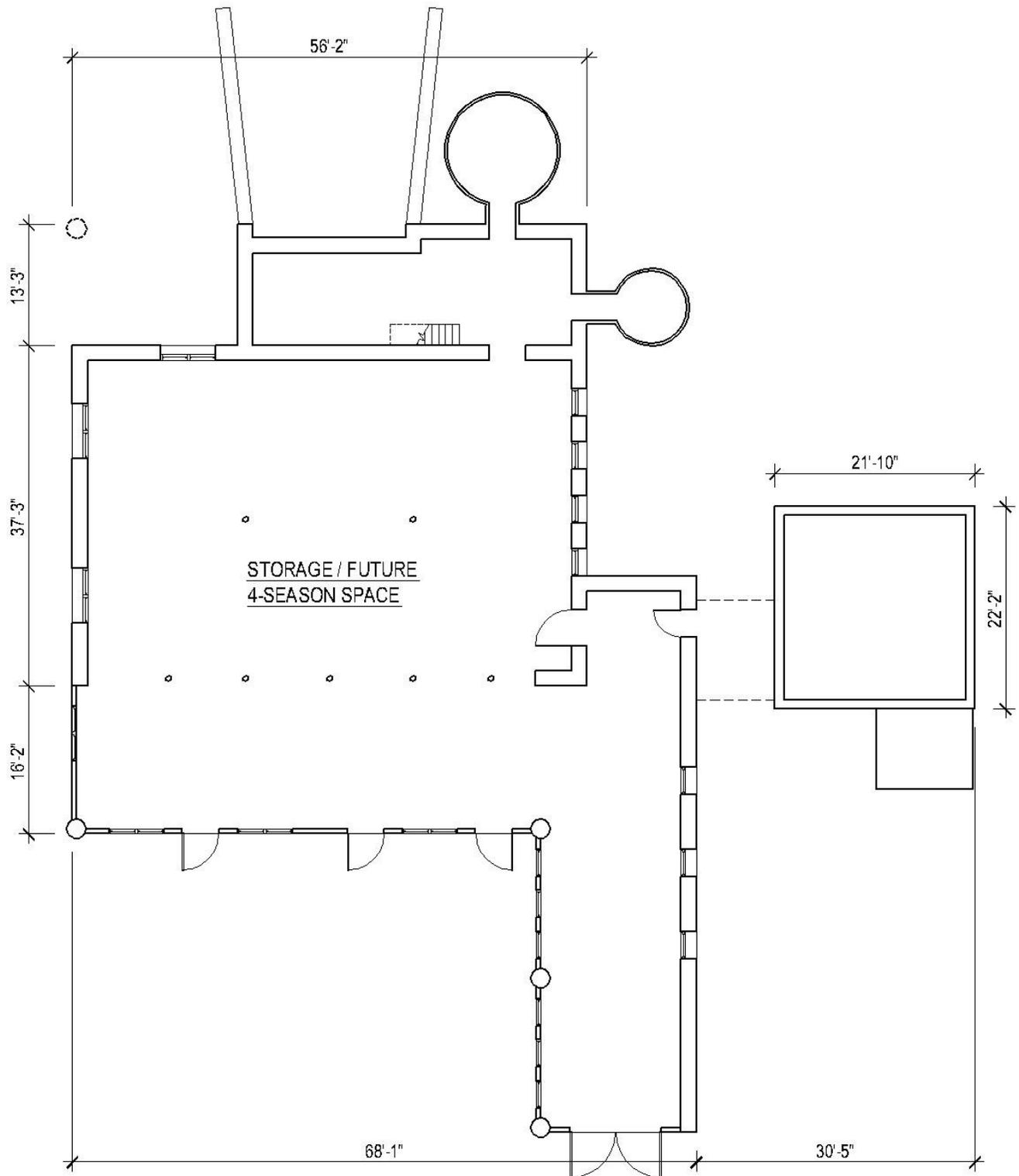
Figure 3.8. Bank Barn, view of antique compressor in garret of dairy cold storage building. This small, attached building houses several early 20<sup>th</sup> century dairy innovations that are a significant part of the agricultural heritage of Middletown Township.

- C. Bathrooms: Public restrooms could be placed on the ground floor of the barn, but that location is not convenient for access and their visibility would be limited. Also, access to utilities and the placement of ventilation equipment would be problematic.
- D. Park offices: Like the public restrooms, park offices could be placed on the ground floor of the barn, but that location is not convenient for access and their visibility would be limited. Also, access to utilities and the placement of HVAC equipment would be problematic.
- E. Meeting area for classes, special programs and events, etc.: The ground floor could readily be adapted to 4-season, classroom or multi-purpose space. However, natural light is limited, and the ceiling height is quite low for so large a floor area. To convert the threshing floor, with its very high ceiling, to 4-season use would destroy the barn quality of the space because walls and underside of roof would have to be insulated and covered with a new finish. The space is well suited to 3-season use.
- F. Arts and crafts workshop and gallery area: Same as “E.”
- G. Kitchen/food service area to support building and outdoor activities related to the Property: A caterer’s kitchen could readily be installed at the ground level for 3-season catered event space at the threshing floor level. Construction of a commercial kitchen/food service would trigger all of the regulations for commercial kitchens and is not recommended for a park facility.
- H. Nature or historical interpretive display areas: Same as “E.”
- I. Sales area for education or community items associated with property use: This would be an ancillary use associated with E, F, or H; same as “E.”
- J. Community Center; including after-school programming, meeting space, teen center, but not including indoor athletic facilities: Same as “E.”
- K. Shower/Locker facilities for staff but not for athletic teams: Same as “D” and “C.”
- L. Library: This would be the most intensive use of the barn, and would entail restoration/reconstruction of the forebay, modification of the building envelope for 4-season occupancy, and construction of an elevator for access between floors. If stabilization and mothballing of the barn is completed at this time, there could be a need in 10 years or more for a larger library building in the township, in which case the barn could be considered for such adaptive use.



TEMPORARY STABILIZATION - BANK BARN SECTION

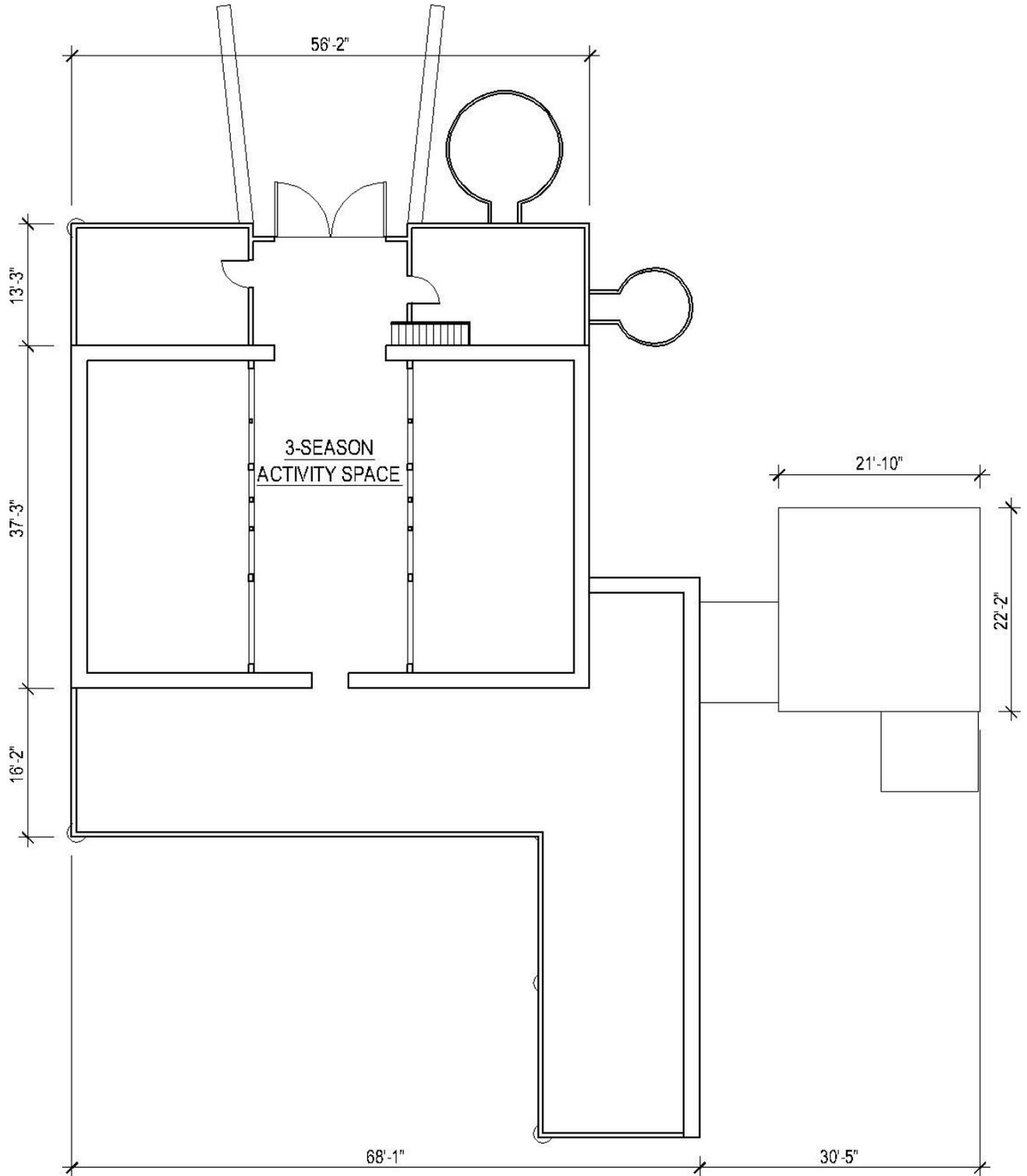




**OPTION 1: FULL BARN PRESERVATION**  
**BANK BARN - DAIRY LEVEL**

4365 S.F.

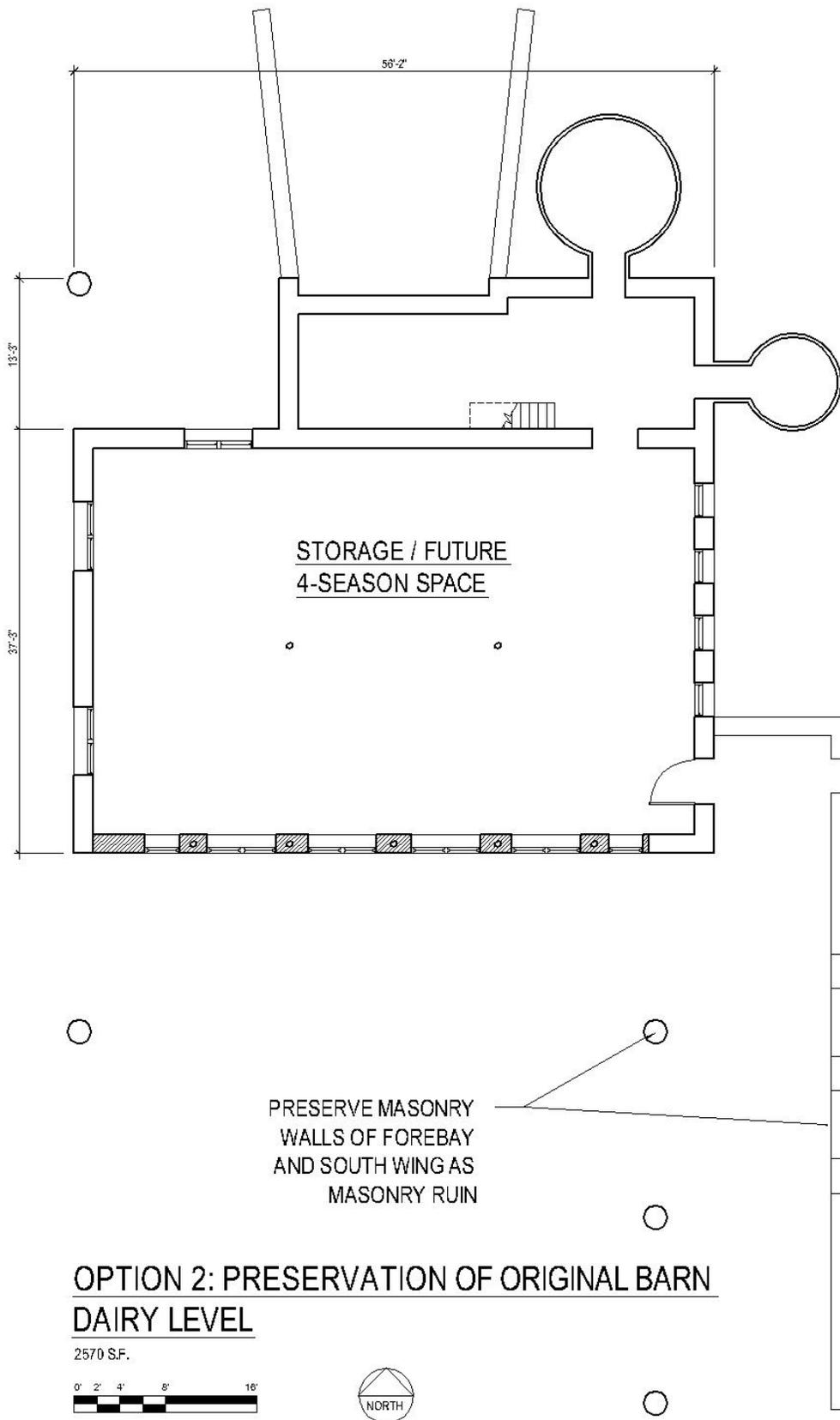


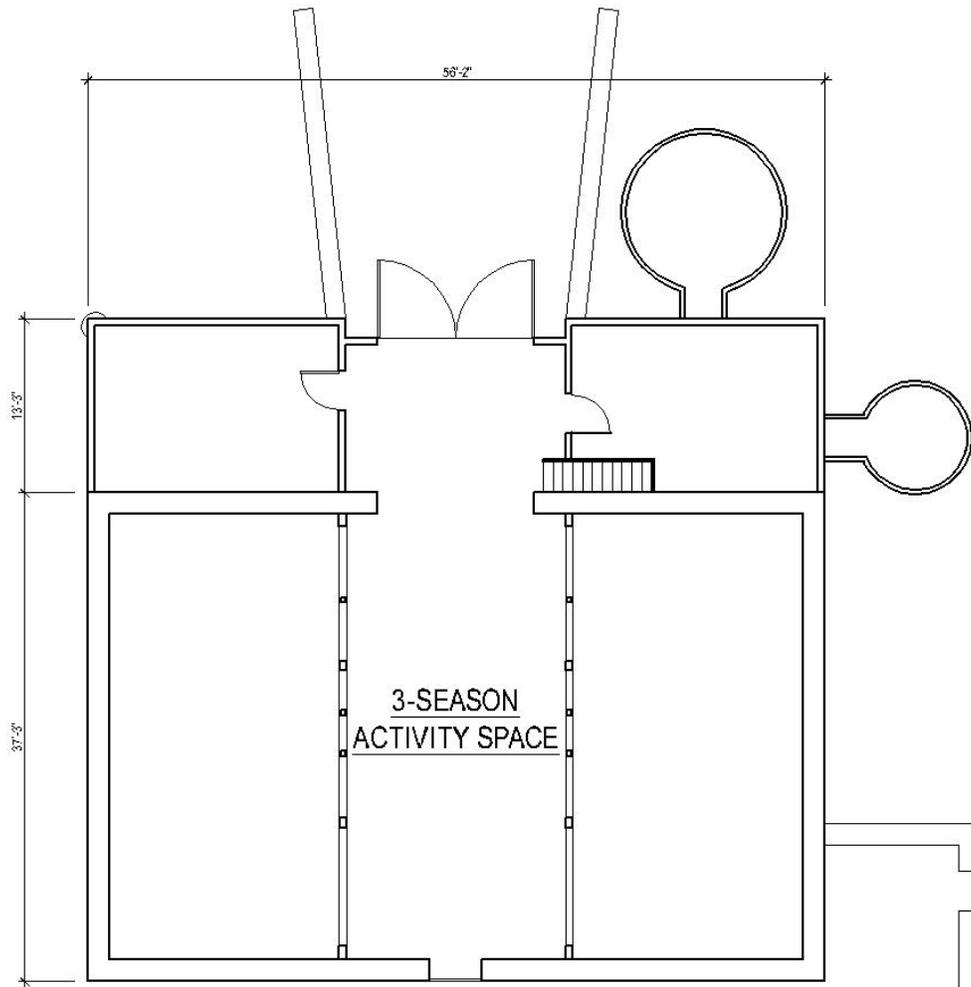


**OPTION 1: FULL BARN PRESERVATION**  
**BANK BARN - THRESHING FLOOR**

4625 S.F.







**OPTION 2: PRESERVATION OF ORIGINAL BARN  
THRESHING FLOOR**

2810 S.F.



**Hilltop Residence** 746 Rose Tree Road

**Building Description**

Hilltop is a 1-1/2 story, wood-frame dwelling constructed in the 1930s as an investment property. The Cape Cod style structure was built with a stone cellar and sided with painted wood shingles. The 3-bedroom, single bath residence is in very good condition.

**Building Data Summary**

Area of ground floor plan: approx. 900 square feet

Gross building area: approx. 1,600 square feet

Exterior wall construction: Wood frame with wood shingle siding

Roofing: Asphalt shingle

Windows: Wood, double-hung

Doors: Wood.

Mechanical system: Oil-fire hot water boiler.

Plumbing: Copper supply piping, cast iron waste piping; electric water heater.

Electrical system: 50-year old main service

Site utilities:

Electric: Aerial

Water: Public

Gas: None

Telephone: Aerial

**Condition Assessment**

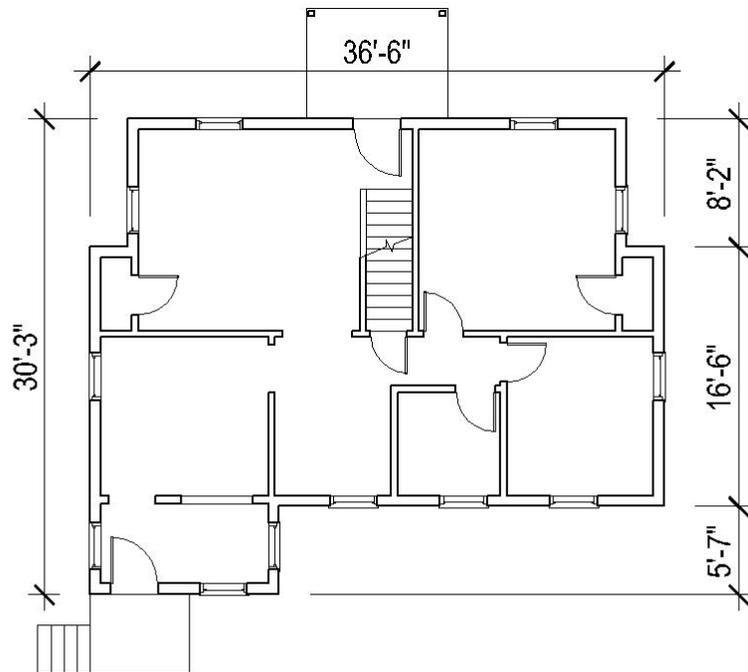
This building has been very well maintained and requires no immediate maintenance work.

**Options For Adaptive Use**

By the terms of the "Declaration of Restrictions," Hilltop Residence is limited to residential use. Because of its placement along the edge of the property and because small residences in general do not adapt well to other uses, continued residential use is the most appropriate use for the building anyway. Separation of the residence from the park will be an important design consideration, probably best achieved by fencing and landscape screening.



Figure 3.9. Hilltop Residence, view from southwest.



**HILLTOP**



## Wagon Shed

### Building Description

The Wagon Shed is comprised of a historic 1-1/2 story, gable-roof, stone wagon shed and a modern wood-frame shed addition. The historic portion of the building probably dates to the earliest construction of the farm, when the main farmhouse was located across Rose Tree Road from the wagon shed and banked barn. The original stone wagon shed measured 24'-7" wide by 26'-5" deep and the modern frame addition measures 19'-6" wide by 26'-5" deep. The historic stone portion of the building functions as a 2-car garage and the modern shed addition is used for light storage. Both sides of the wagon shed have a dirt floor.

### Building Data Summary

Area of ground floor plan: 1,180 square feet

Gross building area: 1,834

Exterior wall construction: Stone at original wagon shed; wood frame at shed addition.

Roofing: Asphalt shingle

Windows: Wood

Doors: Wood

Mechanical system: N/A

Plumbing: N/A

Electrical system: N/A

Site utilities:

Electric: N/A

Water: N/A

Gas: N/A

Telephone: N/A

### Condition Assessment

The Wagon Shed is in good condition. The historic original wood roof lath has been covered with plywood decking and asphalt shingles that have protected the building interior. There is significant crack in the stone wall at the northeast corner of the original building that begins as a gap in the knee wall in the east wall of the garret, and runs downward where it is still open in the shed addition but has been patched on the garage side of the wall. The gap should be restored in the garret and the crack should be deep-pointed below. At the shed addition, the sill appears to be laid directly on the soil, exposing the sill, the bottom of the timber posts, and the clapboard wall siding to ground moisture. A continuous foundation should be built under the north, east, and south walls of the shed addition and the rotted framing replaced.



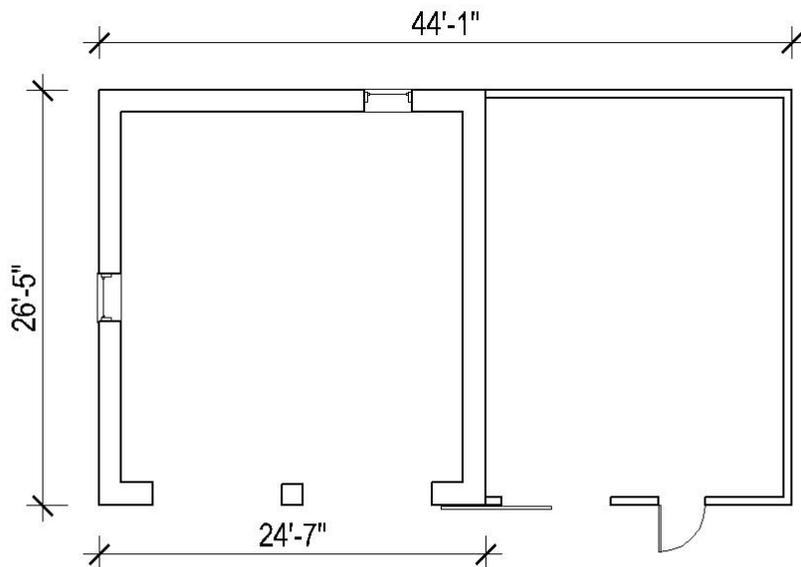
Figure 10. Wagon Shed, view from Rose Tree Road. The wood frame shed on the left is modern.



Figure 11. Wagon Shed, view from south.

**Options For Adaptive Use**

By the terms of the "Declaration of Restrictions," the Wagon Shed is to remain a garage associated with Hilltop Residence. As a surviving out-building in the dairy farm complex, the Wagon Shed is an important historic resource and should be preserved as a garage.



**WAGON SHED**



## Test Barn (Dairy Barn)

### Building Description

The Test Barn was built in the 1920s as a dairy barn for the progressive dairy operation that was developed at that time. Constructed of structural clay tile walls finished on both sides with Portland cement plaster and framed with lightweight roof trusses, the building was a utilitarian structure designed to provide an open plan for a dairy operation. The original construction of the Test Barn included the 2-story gambrel-roofed creamery at the north end of the barn that later became residential and was named, "Longview." The Test Barn originally measured 83'-8" by 71'-6," of which the northern 16'-5" were the ground floor of Longview Residence.

### Building Data Summary

Area of ground floor plan: 1,800 square feet

Gross building area: 1,800 square feet

Exterior wall construction: Structural clay tile

Roofing: Asphalt shingle

Windows:

Doors:

Mechanical system:

Plumbing:

Electrical system: Wood

Site utilities:

Electric: N/A

Water: N/A

Gas: N/A

Telephone: N/A

### Condition Assessment

The Test Barn is in fair condition. Although presumably unreinforced, the structural clay tile walls of the building show no evidence of stress. The concrete slab inside the building is irregular, and the elevation at the east door and the floor just inside the door is lower than the remainder of the floor. Based on test probes to determine the depth of the wall foundations, the floor should be lowered to the floor elevation at the east pair of doors. The entire ceiling should be removed and the trusses should be reinforced as required to support a new ceiling. Doors and windows require replacement.

### Options For Adaptive Use

Because of the open plan, barrier-free access, and the ability to insulate and condition the building, the Test Barn is well suited to adaptive use relating to the park. By the terms of the "Declaration of Restrictions" the



Figure 12. Test Barn, view from east. At the right end of the Test Barn is Broadview Residence, originally built as the creamery section of the barn.



Figure 13. Test Barn, interior view looking south.

two barns on the property are limited to 13 specified uses. The allowed uses and their suitability to both the building and the park are as follows:

- A. Storage of field maintenance equipment and supplies: Lawn mowers and small equipment could be stored in the ground floor of the barn, as they are now.
- B. Storage of sports equipment: Equipment could be readily stored in the building.
- C. Bathrooms: Public restrooms could be built at the north end of the barn, as shown in adaptive use floor plan, where they could readily serve the both the park and the flexible activity space proposed adjacent to the restrooms. For phasing the development of the park, the restrooms could be constructed as a building within a building, with the remainder of the structure allowed to be used as three-season or warehouse space. This placement of the restrooms is highly recommended.
- D. Park offices: A portion of the area labeled, "Flexible Activity Space," could be utilized as park offices. However, reducing the size of the Flexible Activity Space would reduce the activity space's usefulness to the park.
- E. Meeting area for classes, after-school programming, teen center, special programs and events, etc.: The south end of the Test Barn could be utilized as a 1,100 square foot Flexible Activity Space, as shown in Figure 14, for a variety of either seasonal or year-round uses.
- F. Arts and crafts workshop and gallery area: The south end of the Test Barn could be utilized as a 1,100 square foot Flexible Activity Space, as shown in Figure 14, for a variety of either seasonal or year-round uses.
- G. Kitchen/food service area to support building and outdoor activities related to the Property: A caterer's kitchen could readily be installed in the Test Barn for 3-season catered event space in tents outside. Construction of a commercial kitchen/food service would trigger all of the regulations for commercial kitchens and is not recommended for a park facility. Also, reducing the size of the Flexible Activity Space would reduce the activity space's usefulness to the park.
- H. Nature or historical interpretive display areas: The south end of the Test Barn could be utilized as a 1,100 square foot Flexible Activity Space, as shown in Figure 14, for a variety of either seasonal or year-round uses.
- I. Sales area for education or community items associated with prop-

erty use: This would be an ancillary use associated with E, F, or H. However, reducing the size of the Flexible Activity Space would reduce the activity space's usefulness to the park.

- J. Community Center but not including indoor athletic facilities: The south end of the Test Barn could be utilized as a 1,100 square foot Flexible Activity Space, as shown in Figure 14, for a variety of either seasonal or year-round uses.
- K. Shower/Locker facilities for staff but not for athletic teams: Locating staff shower/locker facilities in the Test Barn would reduce the size of the Flexible Activity Space and is not recommended.
- L. Library: The Test Barn is not large enough to be considered for a public library.

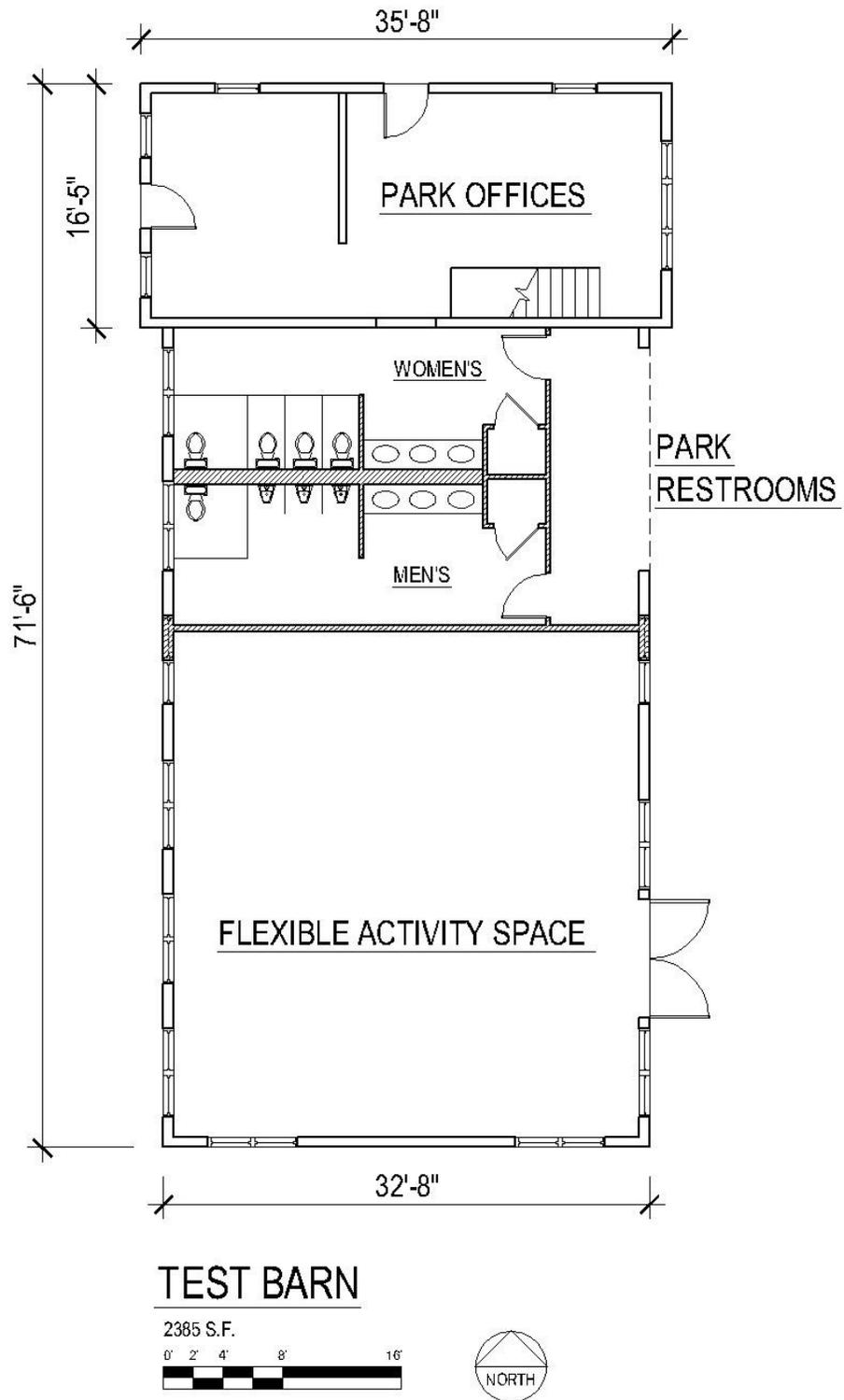


Figure 14. Because of the open plan, barrier-free access, and the ability to insulate and condition the building, the Test Barn is well suited to adaptive use relating to the park.

## Longview Residence

### Building Description

Attached to and built as the creamery and offices for the Test Barn, Longview has been converted to a 2-story dwelling. Like the Test Barn, Longview was constructed with structural clay tile walls and finished at the exterior with Portland cement plaster (stucco). The building is capped with a gambrel roof and the ground floor is a slab on grade.

### Building Data Summary

Area of ground floor plan: 586 square feet

Gross building area: 1,172 square feet.

Exterior wall construction: Structural clay tile finished with stucco

Roofing: Asphalt shingle

Windows: Wood

Doors: Wood

Mechanical system: Oil-fired hot-water boiler (modern) and cast iron baseboard radiation

Plumbing: Plastic piping; electric water heater

Electrical system: Modern plastic-sheathed cables

Site utilities:

Electric: Aerial service

Water: Public

Gas: N/A

Telephone: Aerial service



Figure 3.15. Longview Residence, view from the northwest.



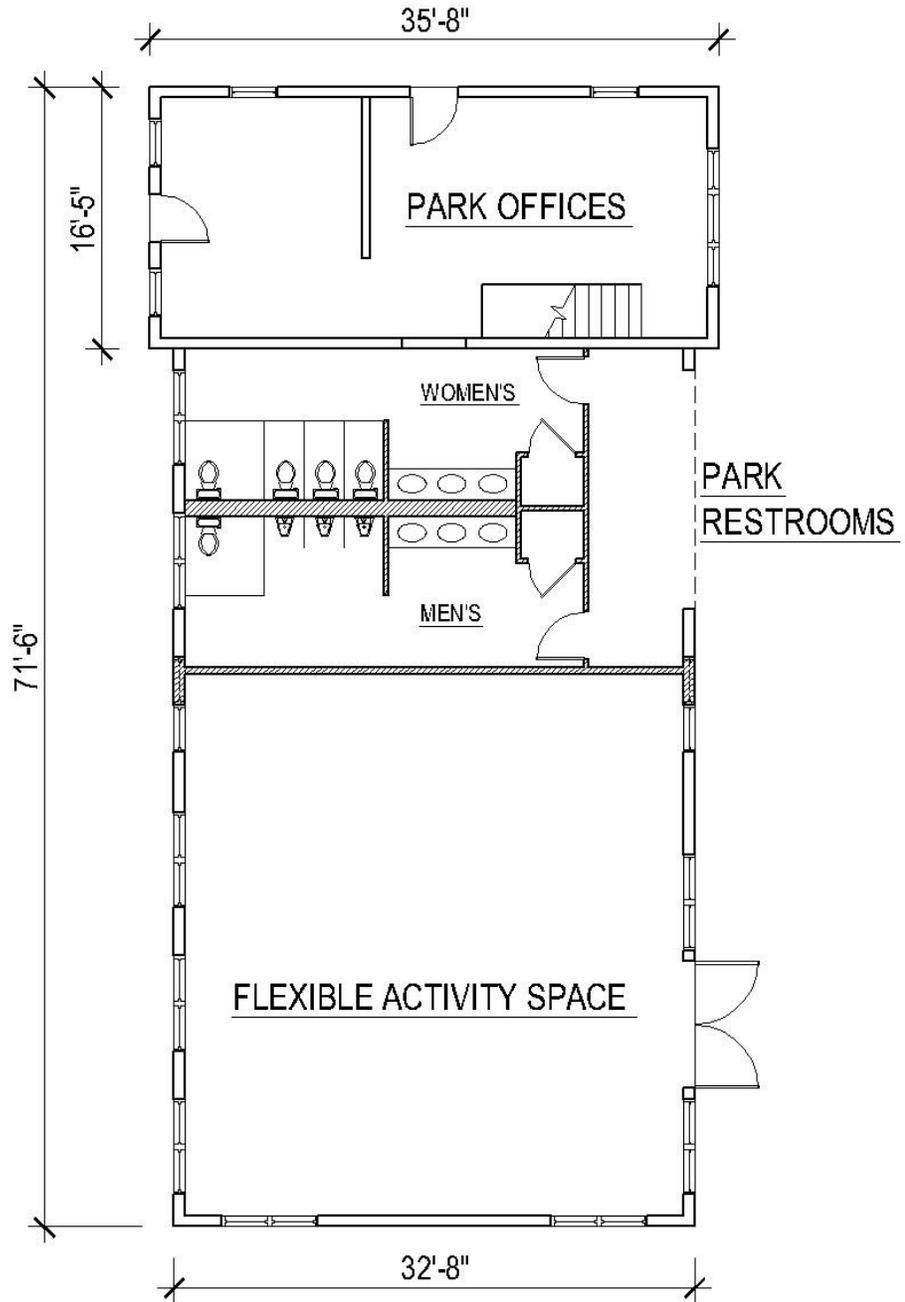
Figure 3.16. Longview Residence, view of ground floor living room.

### Condition Assessment

Although unoccupied and its water systems drained, Longview is in good condition. Exterior stucco and wood surfaces require painting, and an elastomeric coating system is recommended for the stucco to control hairline cracks.

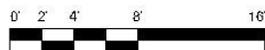
### Options For Adaptive Use

By the terms of the “Declaration of Restrictions,” Longview Residence is limited to residential use. This portion of the Test Barn would better serve the township and the park by adapting the space to park office or park staff locker room/shower space. Occupied as a residence, separation of the residential use from the park functions outside the building and presumably in the contiguous Test Barn will be challenging. Leaving the building unoccupied for a period of time may be a viable option, and consideration should be given to leaving Longview permanently unoccupied.



**LONGVIEW - TEST BARN**

2385 S.F.



**Oaklawn**

**Building Description**

Oaklawn Residence is a 2-1/2 story stone dwelling measuring 31'-2" long by 20'-2" deep, with an attached, frame-construction, rear addition and enclosed porch. Running across the length of the 3-bay front façade is a raised concrete deck with a shed-roofed porch at the center bay only. Two dormers on the front roof slope are paired with two dormers on the rear slope. The tall, narrow gable ends and its overall austere character and simple massing give the building an exterior quality of a much earlier building than the second quarter of the nineteenth century date that the interior woodwork and curved window openings suggest. The floor plan is unusual in its placement of the stairs across the long, rear wall of the house. Each floor is laid out with two rooms per floor. At the first floor, the kitchen is located in the rear addition, and on the second floor a bathroom is located above the kitchen.

Although oral tradition suggest that the building was used as a schoolhouse, nothing inside the building suggests any use other than residential.

**Building Data Summary**

- Area of ground floor plan: 861 square feet
- Gross building area: 2,120 square feet
- Exterior wall construction: Main house: stone; addition: wood frame.
- Roofing: Slate shingles
- Windows: Wood
- Doors: Wood
- Mechanical system:
- Plumbing:
- Electrical system:
- Site utilities:
  - Electric:
  - Water:
  - Gas:
  - Telephone:

**Condition Assessment**

Although the building has been unoccupied for a period of time, interior finishes are generally in good condition and the building envelope is largely intact. The slate roof requires repair, and gutters and downspouts require replacement. (At the garret level there is evidence of roof



Figure 3.17. Oaklawn Residence, view from the northwest.



Figure 3.18. Oaklawn Residence, view from the southeast.

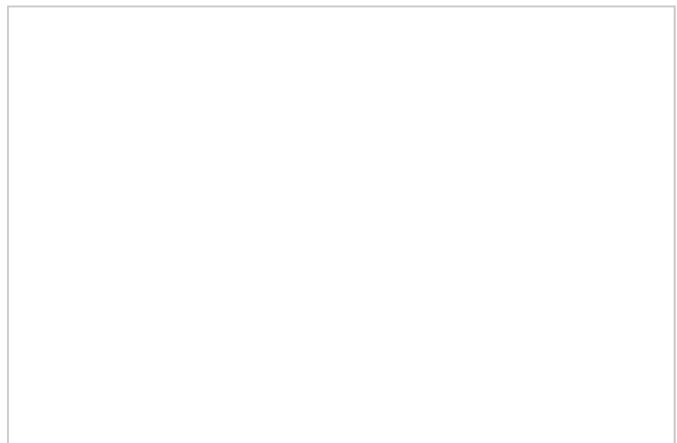


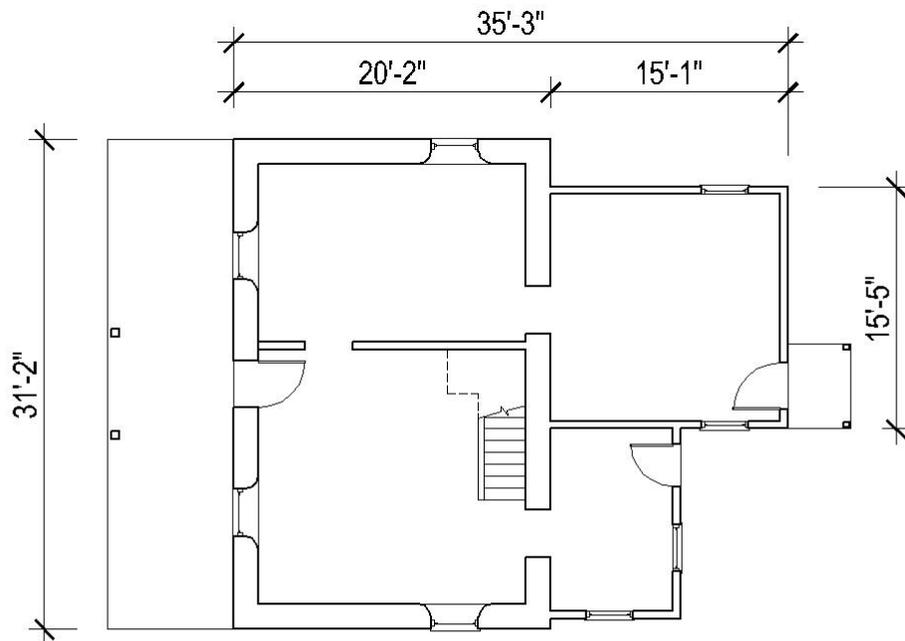
Figure 3.19. Oaklawn Residence, first floor south parlor.

leaks.) At the rear addition (kitchen wing), the stucco finish should be removed from the wood siding to allow evaluation of the siding and wood framing. The enclosed porch at the southeast corner requires removal because of water penetration through the roof. Depending on the condition of the framing of the rear addition, it may be expedient to demolish both the addition and enclosed porch in the short

term. Also, the concrete slabs on grade at the east side of the house should be removed because they block the flow of water around the house, and at the southeast corner water is channeled into a groundhog hole connected to the cellar. The raised concrete deck running the length of the front façade is unattractive but is not harming the building in the short term. Long-term preservation should include removal of the concrete deck and provision of a wood porch, the design of which should be based on historical photographs of Oaklawn or similar farmhouses.

**Options For Adaptive Use**

By the terms of the "Declaration of Restrictions," Oaklawn is limited to residential use. Because of its placement at the far corner of the property and because small residences in general do not adapt well to other uses, continued residential use is the most appropriate use for the building anyway. Separation of the residence from the park can be readily achieved at Oaklawn because when reoccupied as a residence it will appear to be part of the row of houses along Middletown Road.



**OAK LAWN**



## Spring House

### Building Description

The Springhouse is a 1-1/2 story timber-frame building constructed over a stone cellar spring room. The building measures 30'-3" deep by 13'-8" wide, with a 10'-3" x 13'-1" kitchen addition. The gable roof is clad with asphalt shingles and the walls are finished with cedar shingles. At the east elevation is a one-story kitchen wing and on the north gable end is an entrance porch. The stone cellar opens to grade at the south elevation, and inside the spring has been covered over with a concrete slab. The cellar ceiling is plaster over wood lath. Contained in the cellar are the electric service, a laundry, and furnace. At the first floor there are two back-to-back rooms, a kitchen, and stair to the garret. At the garret is a bedroom, sewing room, and bath. The framing of the roof suggests that the springhouse was contemporary with the original barn, as part of the historic farmstead.

### Building Data Summary

Area of first floor plan: 548 square feet

Gross building area: 962 square feet (plus the cellar)

Exterior wall construction: Timber frame over a stone cellar

Roofing: Asphalt shingle.

Windows: Wood

Doors: Wood

Mechanical system: Oil-fired (?) warm air.

Plumbing: Various ages

Electrical system: Mid-20<sup>th</sup> century load center with breakers

Site utilities:

Electric:

Water:

Gas:

Telephone:

### Condition Assessment

Although small, the springhouse functions reasonably well as a 2-bedroom dwelling unit. Floors slope, ceilings are low, and rooms are small. However, the basic timber frame and building envelope are in fair condition, and interior rehabilitation could make the dwelling more convenient.



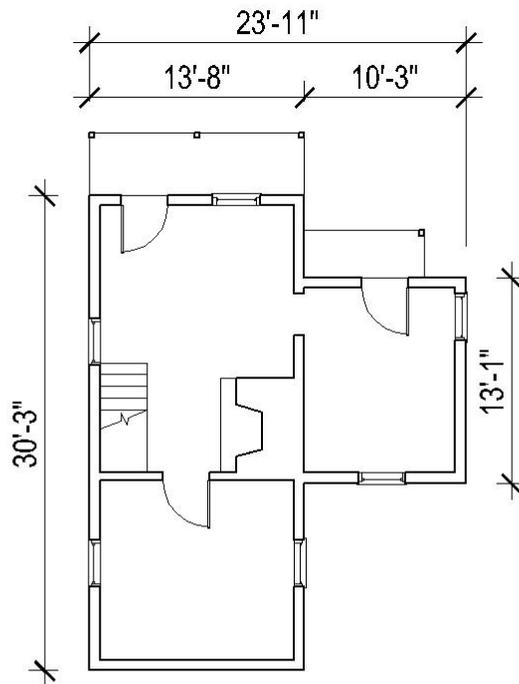
Figure 3.20. Springhouse, view from northwest.



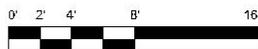
Figure 3.21. Springhouse, view from southwest.

**Options For Adaptive Use**

By the terms of the "Declaration of Restrictions," the Springhouse is limited to residential use. Access to the springhouse requires a long driveway through the park, and separation of the residential use from the park will be an important design consideration, probably best achieved by fencing and landscape screening.



**SPRINGHOUSE**



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All public meetings were well attended including public meeting #1 held in September Of 2009.



## Chapter 4: Master Site Plan

### Design Process

Based upon input and feedback from both the public and steering committee meetings, a series of conceptual diagrams were prepared to present initial design ideas and to study potential locations of proposed facilities within Smedley Tract Park. The existing site conditions were considered along with the functional relationships between proposed recreational facilities, parking areas, stormwater management facilities, and site circulation. These studies resulted in three early concept diagrams based upon three potential development scenarios:

1. Limit recreational field development to "Field A"
2. Limit recreational field development to "Field B" and
3. Recreational field development in both Fields



A site walk with members of the general public and master plan committee was held in the fall of 2009 with approximately 35 people attending.

**Concept 1**

Concept 1 suggests the development of two softball fields and one soccer field, with associated parking in Field “A”. Field “B” is shown to continue in agricultural use. A new driveway is shown about 500 feet to the west of the existing driveway providing access to two parking area and connecting to the existing driveway between the Test Barn and the Springhouse Residence. The plan shows preservation of the farm core. A system of trails is shown throughout the park and continues into the wooded areas, with connections to the neighborhood street of the residential areas that surround the lower and southern section of the park. The trails system is common to all three concepts. Based on the deed restrictions, the farmstead core will be preserved in one manner or another, as will the site’s other buildings / building footprints.





**SIMONE**  
**COLLINS** **SMEDLEY TRACT MASTER SITE PLAN**  
 Middletown Township, Pennsylvania - SC# 09076.10  
 December 15, 2009

**CONCEPT 2**   
 0 20 40 60 80 100 **NORTH**

**Concept 2**

Concept 2 suggests the development of one softball field and one soccer field. The bulk of the field would continue to be used for agricultural use, possible with a CSA (Community Supported Agriculture) use. Associated parking is shown in Field “A” along with continued agricultural use on the west half of the site. Development, however, of Field “B” will require more grading when compared to field “A”. Access to the site is shown in a similar location as in Concept 1. Trails are shown to loop around the site in a similar manner on Concept 1.



**SIMONE COLLINS**  
**SMEDLEY TRACT MASTER SITE PLAN**  
 Middletown Township, Pennsylvania - SC# 09076.10  
 December 15, 2009

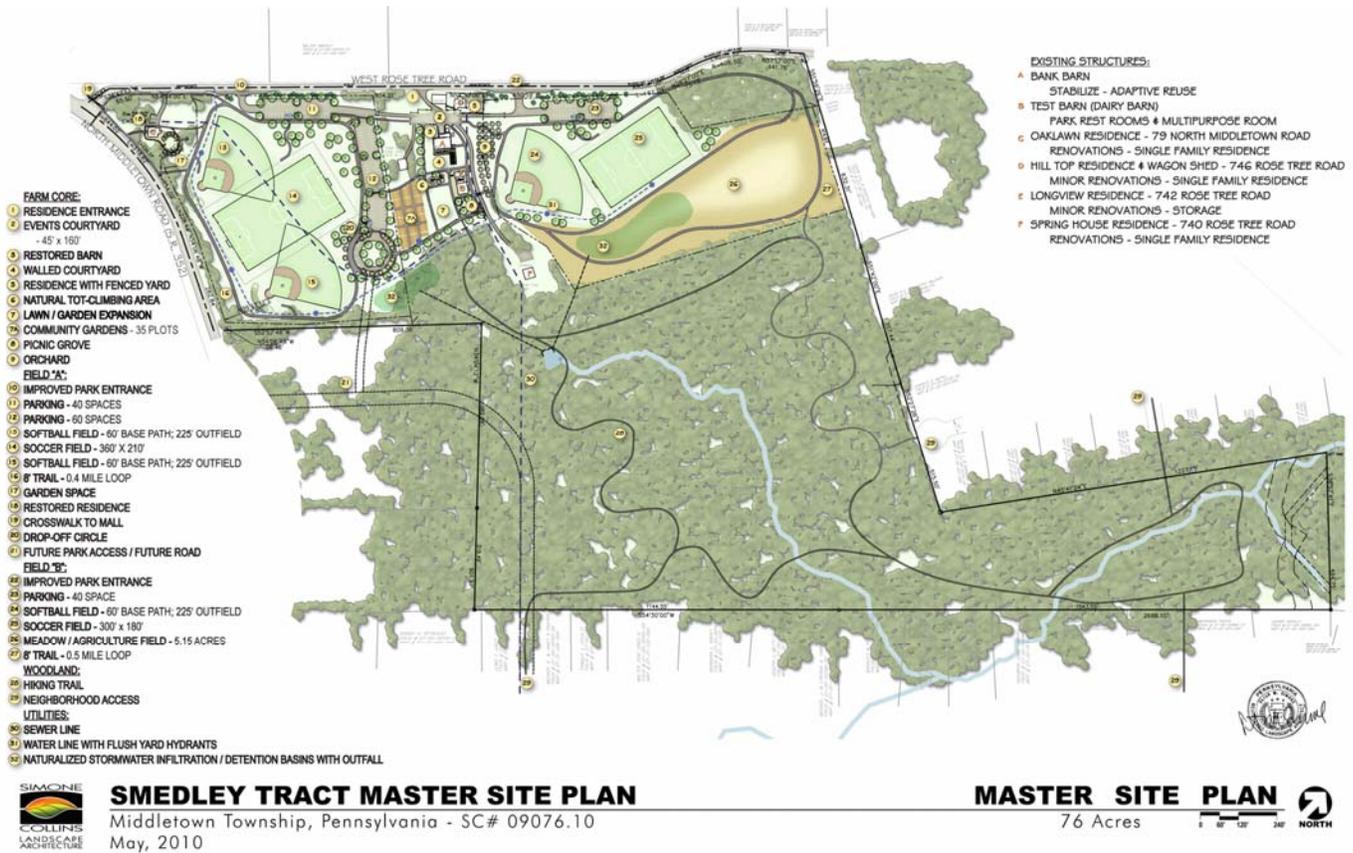
**CONCEPT 3**  
 NORTH

**Concept 3**

Concept 3 essentially combines concepts 1 & 2 to illustrate the maximum active recreational field development and associated parking that is possible for the site, based on a reasonable level of grading that is not excessive. Access is shown at the existing driveway to the farmstead and further west on Rose Tree Road. As in concepts 1 & 2, wooded areas are preserved with trail access.

Concept 3 was the preferred concept by the Master Plan Committee since it developed the maximum number of active sports fields while still adhering to the limitations contained in the deed restriction. However, the Committee commented about the need for additional access from both Rose Tree Road and from a new road from Blackhorse Lane that may be constructed by PennDOT in the future. Based on general acceptance of Concept 3, the design team moved forward to refine this concept into the draft master plan.

## CHAPTER 4: MASTER SITE PLAN



### Final Master Plan

The master plan refines and further develops the overall plan presented in Concept 3. This plan shows the maximum recommended active athletic field development that is appropriate for this site. A larger copy of the master plan is at the end of this chapter.

### Proposed Activities and Facilities

The following are descriptions of the proposed improvements for each activity and facility proposed on the Master Site Plan.

#### Driveway / Entrance

While it is conceivable that the site could be served by just one entrance along West Rose Tree Road it is desirable to provide for more than one for circulation reasons. Two additional driveways are proposed on Rose Tree Road, with a minimum separation of 200 feet. Actual separation shown is over 500 feet for new driveway to the west and approximately 300 feet for eastern driveway.

The three entrance concept will also provide maximum flexibility for park use and relate to the proposed phased development of the park's facilities, since it is most likely that the western and eastern facilities will be developed at different times, most likely years apart.

## CHAPTER 4: MASTER SITE PLAN

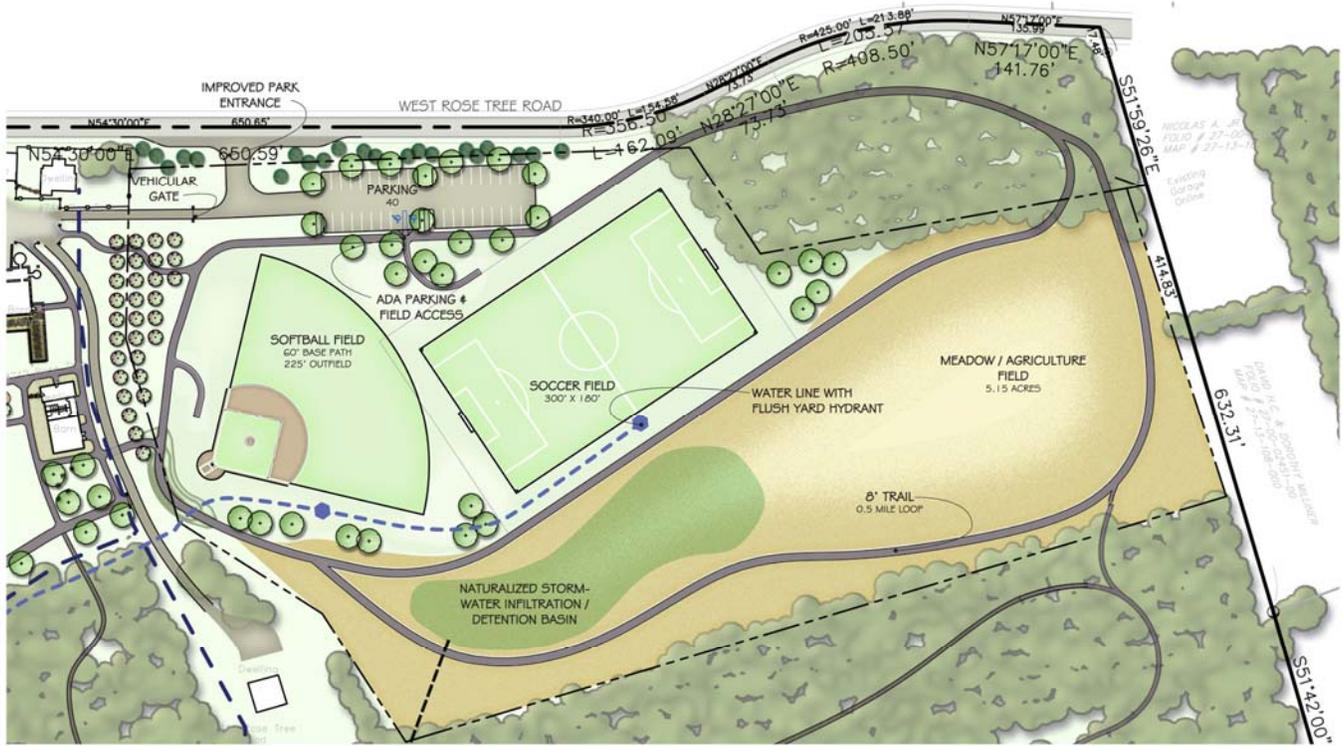
The three driveway development concept will allow park users to arrive and depart unimpeded in all directions. This may also avoid the need for extra lanes within the cartway (i.e., lanes for turning, acceleration, or deceleration). At times of heaviest park use, this will also disperse trips over the three entrances, minimizing congestion. The three driveway approach will also allow the Township to operate the park with a variety of circulation routes (one-way in or out for one or more access points).

The entrances should be a minimum width of 24 feet in order to accommodate school buses.

The area between the right-of-way line adjacent to and on both sides of the driveway entrances shall be used as a clear zone to provide a physical barrier between the traveled way and activity within the park. This area shall remain free of obstructions which may interfere with a clear line of vision for entering or exiting vehicles (e.g., no signs, poles, utility boxes, trees, shrubs, etc.).

The minimum radius within the highway right-of-way should be 35 feet. The radii on internal curves shall be as large as possible to allow for direct movement from the highway into proper position for parking without any interference to other vehicles attempting the same maneuver or some other type of internal turning movement.





**SIMONE**  
**COLLINS**  
**SMEDLEY TRACT MASTER SITE PLAN**  
 Middletown Township, Pennsylvania - SC# 09076.10  
 May, 2010

**MASTER SITE PLAN**  
 FIELD "B"  
 NORTH

**Parking**

As provided for in the site's deed restrictions, parking for park activities is restricted to Field "A" and Field "B". Accordingly, two parking areas are shown in Field "A" (100 spaces) with one area proposed in "B" (40 spaces). These two parking areas can be linked through the farmstead "events courtyard" or can function separately depending on the needs of the Township and the particular park event taking place. Pavements can be construction of asphalt, porous asphalt or gravel. This decision will be based primarily on the stormwater management needs of the site during detailed design and engineering.

**Loop Trail**

Trails loop around both Field "A" and Field "B" while avoiding crossing driveways and parking access aisles. This loop trail is proposed to be ten feet wide in order to accommodate multiple users as well as park maintenance vehicles. At a minimum the trail should be constructed with a stone dust surface and be designed so surface stormwater flows do not cross the trails. Where slopes exceed three percent, the trail should be asphalt.



**SIMONE COLLINS**  
**SMEDLEY TRACT MASTER SITE PLAN**  
 Middletown Township, Pennsylvania - SC# 09076.10  
 May, 2010

**FARM CORE MASTER SITE PLAN**  
 NORTH

**Farm Core Area**

The Farm Core Area is the central portion of the site that contains the Bank Barn, Hilltop Residence, Longview Residence and the Test Barn and the Spring House Residence. Site improvements / facilities in the Farm Core Area include the following recommend items.

**Farm Events Courtyard**

The Events courtyard is proposed between the Bank Barn and the Hilltop Residence. This gravel area will be loosely enclosed by low stone walls constructed in keeping with the historic architectural character of the Bank Barn. An appropriately designed wood privacy fence is recommended around the Hilltop Residence to give occupants privacy in this public park.

**Community Garden**

A community garden is recommended behind and to the southwest of the Bank Barn with immediate access to parking. Plots will be assigned to residents, perhaps for a nominal fee. If needed, the community garden can be expanded to the east.

### **Playground**

A small playground is recommend behind the Bank Barn. This playground should contain “natural” materials (boulders, logs, agrarian elements) with accessible safety surface on the ground. The playground should be designed for young children ages 2 to 5 years of age.

### **Picnic Grove**

A small picnic grove area is proposed near the Test Barn.

### **Athletic Fields**

Field “A” is proposed to contain two softball fields and one soccer field. Field “B” is proposed to contain one softball field and one soccer field. Since permanent fencing is prohibited by the deed restriction, berms are proposed behind home plate for each softball field to offer at least minimal containment of past balls. Additionally, temporary fencing will be used. Permanent bleachers are also not allowed. One idea is to mount small grandstands on wagon-like farm carts that could be rolled out for games and them brought back to the farm core area.

### **Plantings**

Various plantings are proposed for the park. Plantings are proposed as buffer plantings, for shade in parking lots, and to help to define space in the park. Native plants should be predominantly used.

Plantings for stormwater Best Management Practice (BMP) areas will be selected for appearance and the ability to survive wet and dry conditions in the bioswales and rain gardens that will be constructed as a part of the park’s stormwater management system.

### **Stormwater Management**

Stormwater Best Management Practices (BMPs) are proposed and should be incorporated during the design development and construction documentation phase of the project. Stormwater facilities envisioned for Smedley Tract Park include:

- Perimeter infiltration trenches and underground detention and/or infiltration beds for the athletic fields.
- Pervious surfaces where possible, including the proposed parking lot, loop trail, and playground safety surface. Porous paving will require maintenance such as periodic vacuuming of the surface.
- Two large infiltration areas are proposed below each of the athletic field areas. These will be designed as relatively shallow depressions that will hold shallow amounts of stormwater that will be slowly infiltrated into the soil during most normal rain events. For larger rain events, these areas will hold rainwater for up to 24 hours and both will include emergency overflow structures to convey stormwater to natural drainage ways on the site at controlled rates.

### **Utilities**

Proposed park improvements will require the following utility installations:

- A connection to public sewer should be made from the line in Black Horse Lane to the south of the park site. This is proposed in Phase 3 when permanent public restrooms are installed in the Test Barn.
- Connections to public water should be made for at least hose bid connections for each of the field areas so that supplemental irrigation is available for each field.
- Water connections to the Main Barn and Test Barn will be required.
- It is anticipated that new electrical connections will be required to the Main Barn and Test Barn. Electrical upgrades may also be required to Oaklawn and Longview residences.

### **Signage**

Proposed park signage includes a park entrance signs to include language stating DCNR's funding of the park master plan and improvements. This entrance sign is proposed to be located in the vicinity of the farmstead's events court. This sign should be installed in phase 1 in a location that will be visible but not disturbed by future improvements. A welcome / information kiosk to include park rules, activities, and community information is proposed to be centrally located. Other regulatory and traffic control signage will be included as necessary with the phased driveway entrance improvements.

### **Estimate of Probable Development Costs**

Below are the site development costs summarized associated with each project phase. These cost estimates include contingencies and design & engineering fees. Total site and building development costs are estimated to be \$5.3 million. However, many options are possible in the development of the park which is estimated to take at least 10 or more years to fully implement.

Please refer to the Estimate of Probable Development Costs exhibit found in the Appendix for a more detailed description of the proposed park improvement costs.

**CHAPTER 4: MASTER SITE PLAN**

<b>PARK COST BY PHASE (Site and Buildings Combined)</b>	
PHASE 1	\$ 132,279
PHASE 2	\$ 737,664
PHASE 3	\$ 942,454
PHASE 4	\$ 679,189
PHASE 5	\$ 837,729
PHASE 6	\$ 2,048,782
<b>TOTAL PHASE COST</b>	<b>\$ 5,378,097</b>

<b>SITE ONLY</b>	<b>Construction Cost</b>	<b>15% Contingency</b>	<b>15% Design &amp; Engineering</b>	<b>TOTAL</b>
PHASE 1	\$ 50,253	\$ 7,538	\$ 7,538	\$ 65,329
PHASE 2	\$ 567,434	\$ 85,115	\$ 85,115	\$ 737,664
PHASE 3	\$ 176,832	\$ 26,525	\$ 26,525	\$ 229,882
PHASE 4	\$ 45,453	\$ 6,818	\$ 6,818	\$ 59,089
PHASE 5	\$ 644,407	\$ 96,661	\$ 96,661	\$ 837,729
PHASE 6	\$ 171,486	\$ 25,723	\$ 25,723	\$ 222,932
<b>TOTAL PHASE COST</b>	<b>\$ 1,655,866</b>	<b>\$ 248,380</b>	<b>\$ 248,380</b>	<b>\$ 2,152,625</b>

<b>BUILDINGS ONLY</b>	<b>Construction Cost</b>	<b>15% Contingency</b>	<b>15% Design &amp; Engineering</b>	<b>TOTAL</b>
PHASE 1 Bank Barn Stabilization	\$ 51,500	\$ 7,725	\$ 7,725	\$ 66,950
PHASE 2	\$ -	\$ -	\$ -	\$ -
PHASE 3 Test Barn Renovation	\$ 548,132	\$ 82,220	\$ 82,220	\$ 712,572
PHASE 4 Oaklawn	\$ 477,000	\$ 71,550	\$ 71,550	\$ 620,100
PHASE 5	\$ -	\$ -	\$ -	\$ -
PHASE 6 Main Barn	\$ 1,404,500	\$ 210,675	\$ 210,675	\$ 1,825,850
<b>TOTAL PHASE COST</b>	<b>\$ 2,481,132</b>	<b>\$ 372,170</b>	<b>\$ 372,170</b>	<b>\$ 3,225,472</b>

### **Design Considerations**

#### **ADA Accessibility**

All improvements must be designed in accordance with the most recent version of the *ADA Accessibility Guidelines for Buildings and Facilities*. The most up to date information can be found at <http://www.ada.gov>.

#### **Best Management Practices**

The *Pennsylvania Handbook of Best Management Practices for Developing Areas* offers numerous solutions for handling storm water on site. As previously mentioned, some Best Management Practices (BMP's) that could be implemented at this park include porous paving in the parking lots and the loop trail, and underground infiltration and storage beds for the active recreation facilities. Incorporation of these facilities will require site specific soil tests to determine site suitability and the infiltration rates of the existing soils.

#### **Native Plant Material**

The use of native plant materials at the park should include canopy and flowering tree groves, ornamental planting beds and buffer areas. The use of native plant materials will create an attractive landscape that will reduce long-term maintenance costs as native plants generally are resistant to most pests and diseases, and require little or no irrigation or fertilizers.

#### **Invasive Plant Removals**

The perimeters of the existing agricultural fields contain a mixture of invasive plant materials including multiflora rose, poison ivy, honeysuckle, Norway maple and many other invasive species. The Township should initiate a program of invasive plant removals and replanting of these areas with native plants as soon as possible. This labor intensive task is ideally suited for volunteers including school or scout groups.

### **Maintenance**

Smedley Park will need to develop a maintenance plan as the park is developed. Maintenance goals must strive to minimize any real or perceived risks of injury to users and ensure that facilities continue to be highly regarded and attractive. The maintenance management plan should set quality and performance standards for maintaining the park. The following is a monthly outline of basic maintenance tasks that should be completed at the park. This plan will need to be more finely detailed as development of the park moves forward. The frequency, per month, of these maintenance tasks is indicated in parentheses.

#### **January**

Pick up and remove trash (4)

Tree pruning

Inspect community buildings, trails / make repairs (1)

Snow removal, as necessary

**February**

Pick up and remove trash (4)

Inspect community buildings, trails / make repairs (1)

Snow removal, as necessary

**March**

Pick up and remove trash (8)

Inspect park trees for winter damage / perform work

Inspect community buildings, trails / make repairs (1)

Inspect lawns for winter damage and perform necessary repair work

Aeration of all open lawn areas / top dress as necessary and over seed w/ perennial rye

First mowing of lawns (1)

Fertilize and lime lawns (possibly April) (1)

Apply pre-emergent crab grass controls if warranted (possibly April)

Apply dormant oil sprays to trees if warranted

Painting if warranted

Prune trees as needed

**April**

Pick up and remove trash (12)

Clean rest rooms twice weekly (8)

Mow lawns (2-3)

Inspect community buildings, trails / make repairs (1)

**May**

Pick up and remove trash (12)

Clean rest rooms twice weekly (8)

Mow lawns (4)

Sweep pavilion (4)

Plant flowers and other landscape items

**June**

Pick up and remove trash (12)

Clean rest rooms thrice weekly (12)

Mow lawns (4)

Inspect equipment, etc. / make repairs (1)

**July**

Pick up and remove trash (12)

Clean rest rooms thrice weekly (12)

Mow lawns (3)

**August**

Pick up and remove trash (12)

Clean rest rooms thrice weekly (12)

Mow lawns (3)

Supplement aggregate and wood chip trails (1)

**September**

Pick up and remove trash (12)

Clean rest rooms twice weekly (8)

Mow lawns (4)

Fertilize lawns (1)

Mark invasive species for winter removal

**October**

Pick up and remove trash (12)

Clean rest rooms twice weekly (8)

Mow lawns (2-3)

Aerate and top-dress lawns (1)

Repair damage / compacted lawn areas - seed with fescue

Fall leaf pick-up (1)

Fall tree fertilization

### **November**

Fertilize lawns (1)

Pick up and remove trash (8)

Clean rest rooms once weekly (4)

Mow lawns (1)

Fall leaf pick-up (1)

### **December**

Pick up and remove trash (4)

Snow removal, as necessary

Maintenance goals must strive to minimize any real or perceived risks of injury and provide residents with an attractive facility, all within a limited maintenance budget. “Best maintenance or management practices” should be implemented, assuring a quality facility and healthy plant and animal habitats. The Township must continually strive to achieve high quality maintenance with as few public funds as possible. Residents, scouts, school students and others can greatly assist the Township in its efforts by undertaking “clean-up” events, sponsoring planting events, and encouraging residents to keep the park clean and litter free.

As a developed park with active sports fields, restrooms, and other intensely used facilities, high quality maintenance typically costs \$6500 per acre per year. Given that the park is approximately 15 acres of active use areas, it is estimated that annual park maintenance will cost approximately \$100,000 per year. This assumes an hourly labor rate (with benefits) of approximately \$35 per hour. This translates into about 2500 person hours per year when the park is fully developed. This leaves an allowance of about \$13,000 annually for supplies—not including maintenance equipment. Actual maintenance costs will develop incrementally as the park is built in phases. It may be possible to reduce actual maintenance costs in many ways. For example, if a dedicated park maintenance worker was to live in one of the residences on the property, wages might be reduced substantially in exchange for housing. Additionally, many maintenance tasks could be performed by volunteers or a “Friends of Smedley Park” group.

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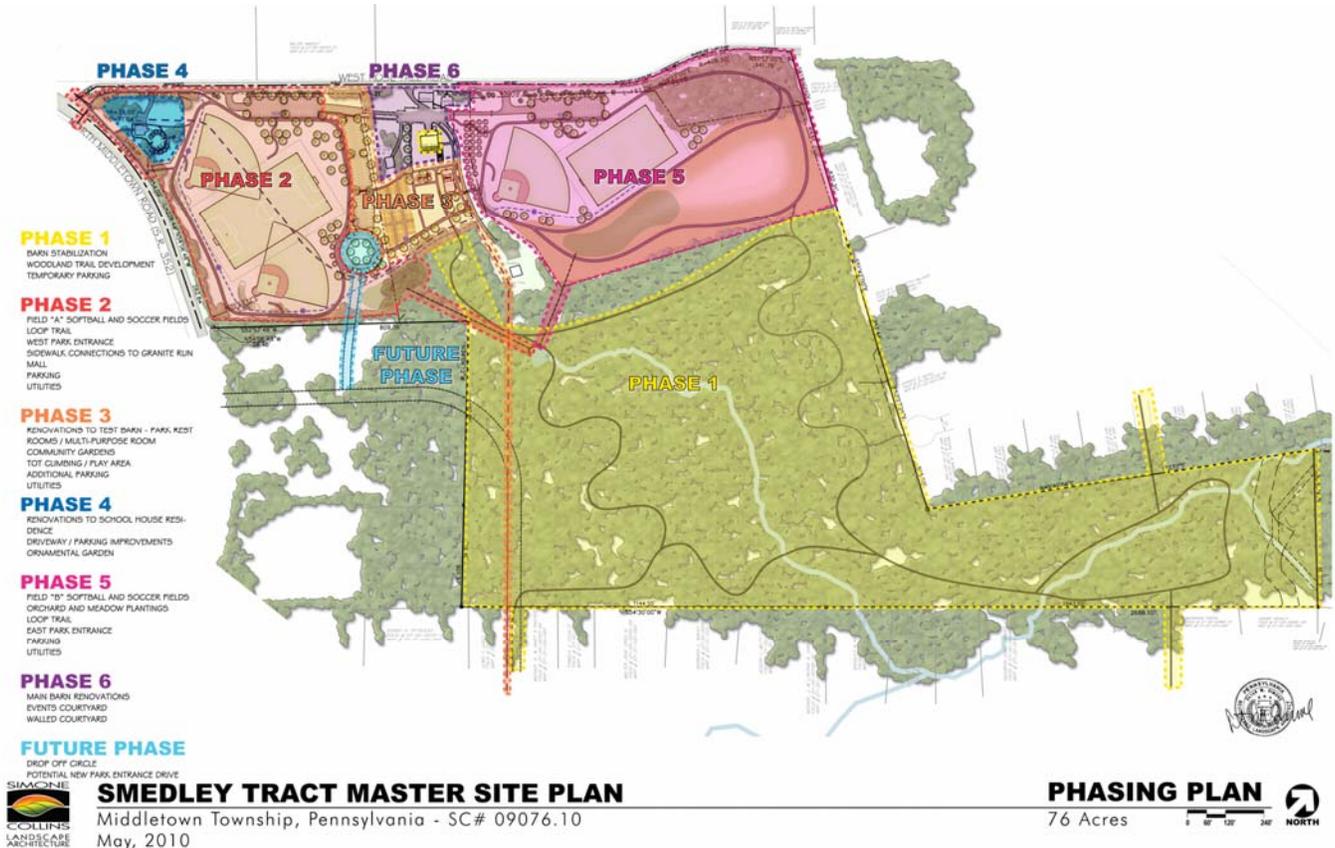
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## Chapter 5: Implementation and Funding Strategy

The Phasing Plan and Potential Funding Sources outlines an initial strategy for development of Smedley Tract Park. During the period of time over which park improvements will be implemented, the availability of funding along with other factors, such as an increased demand for certain park facilities, may affect implementation phases. The Township must be flexible and adapt to these changes as it moves forward with the park's development.



### Phasing Plan

The implementation strategy suggests a logical construction sequence. The Phasing Plan outlined below summarizes potential projects for phased implementation of construction at Smedley Tract Park and references the phasing plan map included at the end of this chapter.

It is important to consider that this sequence may be modified to address any potential changes in opportunity or demands that may occur in the coming years and as project funding becomes available. Different project components can be constructed concurrently, again dependant on available funding and dedication of Township resources for maintenance and operations.

- **Phase 1:** Barn stabilization through donations, grants, and the possible formation of a “Friends of the Park” non-profit organization; temporary parking (gravel) and trail development through selective clearing, grading, and installation of woodchips on these woodland trails.
- **Phase 2:** Development of the west field (Field A) softball fields and soccer field with new driveway entrance and parking.
- **Phase 3:** Development of the community gardens, Test Barn renovation, Longview Residence, sewer line extension
- **Phase 4:** Oaklawn residence renovation (demo rear addition )and rebuild, new windows, electric, heating) with largely volunteer labor
- **Phase 5:** Development of the east softball and soccer fields (Field B), associated parking and trails.
- **Phase 6:** Renovation of the Main Barn

### **Potential Funding Sources**

#### **PA DCNR Community Conservation Partnership Program**

The PA DCNR Community Conservation Partnership Program (C2P2) provides funding for communities and nonprofit organizations to acquire, plan and implement open space, conservation and recreation resources, including trails. DCNR accepts grant application periods annually—usually in April. A new addition to this funding round is that projects will receive additional consideration for using “green” technology or practices. The next C2P2 funding cycle is in April 2011. State funds can be used for discrete projects or as a match to federal funds. DCNR requires a 50–50 match (cash or in kind services) to its grant awards for park development projects. More information on this program can be found at the DCNR website: <http://www.dcnr.state.pa.us/brc/grants/indexgrantsinstruct.aspx>

#### **PA DEP Growing Greener II**

The Growing Greener Program is an environmental grant program established under the Environmental Stewardship and Watershed Protection Act. Funds are distributed among four state agencies: the Department of Agriculture to administer farmland preservation projects; the Department of Conservation and Natural Resources for state park renovations and improvements; the Pennsylvania Infrastructure Investment Authority for water and sewer system upgrades; and the Department of Environmental Protection for watershed restoration and protection, abandoned mine reclamation; and abandoned oil and gas well plugging projects.

Grants are available to a variety of eligible applicants, including counties, municipalities, county conservation districts, watershed organizations, and other organizations involved in the restoration and protection of Pennsylvania's environment. These grants will support local projects to clean up "non-point" sources of pollution throughout Pennsylvania.

Growing Greener projects applicable to Smedley Park would include DOA-funded agriculture preservation projects and DEP-funded local watershed protection and restoration projects, such as riparian buffer planting and stream bank restoration. It may also be possible to coordinate Growing Greener grants with other grants for trail construction. Presently, funding is very limited. More information on this program can be found at the PA DEP website: <http://www.depweb.state.pa.us/growinggreener/site/default.asp>

### **DCED Community Revitalization Funds**

The Department of Community and Economic Development (DCED) Community Revitalization Fund is a state program that supports local initiatives that improve the stability of communities and enhance local economies. This agency has an open application period throughout the year, but applications should be submitted as early as possible in the fiscal year after June 30. The grant program covers a wide range of eligible uses including acquisition of land, buildings, and right-of-ways; trail, civic, and recreation projects; programs and developments that build capacity of the local community and relevant local organizations to better serve the needs of the community, and other reasonable and necessary expenses related to community-based activities. Active support of the district's state senator and / or state representative is critical in a successful grant application. More information on this program can be found at the DCED website: <http://www.newpa.com/find-and-apply-for-funding/funding-and-program-finder/funding-detail/index.aspx?progId=228>

### **Recreational Trails Program**

The Recreational Trails Program (RTP) provides federal funds under the Safe, Accountable, Flexible, Efficient Transportation Equity Act: A Legacy for Users (SAFETEA-LU). SAFETEA-LU is the successor to the Transportation Equity Act for the 21st Century (TEA-21). Funds are allocated to the states to develop and maintain recreational trails and trail-related facilities for both nonmotorized and motorized recreational trail uses. The RTP is an assistance program of the FHWA funded by the federal fuel tax. In Pennsylvania, the RTP is administered by the PA DNCR Bureau of Recreation and Conservation in consultation with the Pennsylvania Recreational Trails Advisory Board, which is composed of both motorized and nonmotorized recreational trail users.

Match requirements for Pennsylvania Recreational Trails Program Grants are 80% grant money, up to a maximum of \$100,000, and 20% project

applicant money. “Soft match” (credit for donations of funds, materials, services, or new right-of-way) is permitted from any project sponsor, whether a private organization or public agency.

Eligible applicants include federal and state agencies, local governments and private organizations. Funding may be used for the development of urban trail linkages near homes and work-places; maintenance of existing recreational trails; development of trail-side and trail-head facilities; provision of features that facilitate the access and use of trails by persons with disabilities; acquisition of easements for trails, or for trail corridors identified in a state trail plan; acquisition of fee simple title to property from a willing seller; and construction of new trails on state, county, municipal, or private lands. More information on this program can be found at: <http://www.fhwa.dot.gov/environment/rectrails/>

### **Transportation Enhancements (SAFETEA-LU)**

There is discussion in Washington that the transportation enhancements bill may be reauthorized before the end of 2010 or in early 2011. The bill may allocate billions nationwide over six years and includes funding for recreational trails and parks. In Pennsylvania, the Department of Transportation (PennDOT) administers several SAFETEA-LU bicycle and pedestrian related programs.

Typically, a non-federal match is required to be 20% of the grant award. A strategy preferred by PennDOT is to require the local partner to prepare construction documents and obtain necessary environmental clearances, property control documents and utility relocations plans as the local match for these “pre-construction” tasks so that the project is ready for construction using the TE funding. The costs to prepare these documents can be the non-federal match to the TEA-21 funds, and does not necessarily need to be exactly 20% if all needed documentation can be completed for less. More information about this program can be found at the following link: <http://www.fhwa.dot.gov/safetealu/summary.htm>

### **Environmental Education**

The Pennsylvania Environmental Education Grants Program awards funding to schools, nonprofit groups and county conservation districts to develop new or expand current environmental education programming. Administered through the Pennsylvania Department of Environmental Protection, the funds are used for projects ranging from creative, hands-on lessons for students and teacher training programs to ecological education for community residents. Educational resources, including exhibits, educational signage, and

demonstration projects, also qualify for funding.

The US Environmental Protection Agency is another potential source of funding for environmental education programs. The US EPA awards grants of \$50,000 or less through its regional offices, and grants up to \$100,000 through its Washington, DC headquarters.

Grant programs that require matching funds present an opportunity for the Township to engage in targeted fundraising efforts and to partner with other organizations.

Foundations and institutions represent another potential source of funding for education-related site improvements and programming. Grants are available to support student field trips, provide teacher training in science, and provide other educational opportunities. Education tied to research can increase the pool of potential funds. The science community and research institutions are the logical starting points for soliciting foundation funds.

### **Legislative Funding**

State and federal elected officials can often include items into legislation for worthy projects in their districts. A conversation between county and municipal officials and legislators is the way to begin this process. This type of funding should be targeted toward capital improvement projects.

### **Middletown Township**

Some grant programs allow “in-kind” services in place of cash to count as a local match. It is strongly suggested that the Township immediately begin to keep a detailed inventory of municipal staff and/or official time spent on Smedley Park. Occasionally, grantors may allow time spent to date to count as part of the in-kind match for funds. This record will also demonstrate a continuing commitment on the part of the municipality to the successful implementation of the master plan. The Township may in some cases choose to invest municipal funds in specific aspects of the park development to “leverage” funding from other partners.

### **Private Foundations**

There are corporations and foundations that support public works such as trail development. The competition for these funds is brisk, but the opportunities should be researched. Funding is often to non-profit organizations.

### **Schools**

The Rose Tree Media School District may also be of assistance in several ways. The student body might get involved with clubs, fundraising events, and site cleanup days. While the amount of funds raised may be

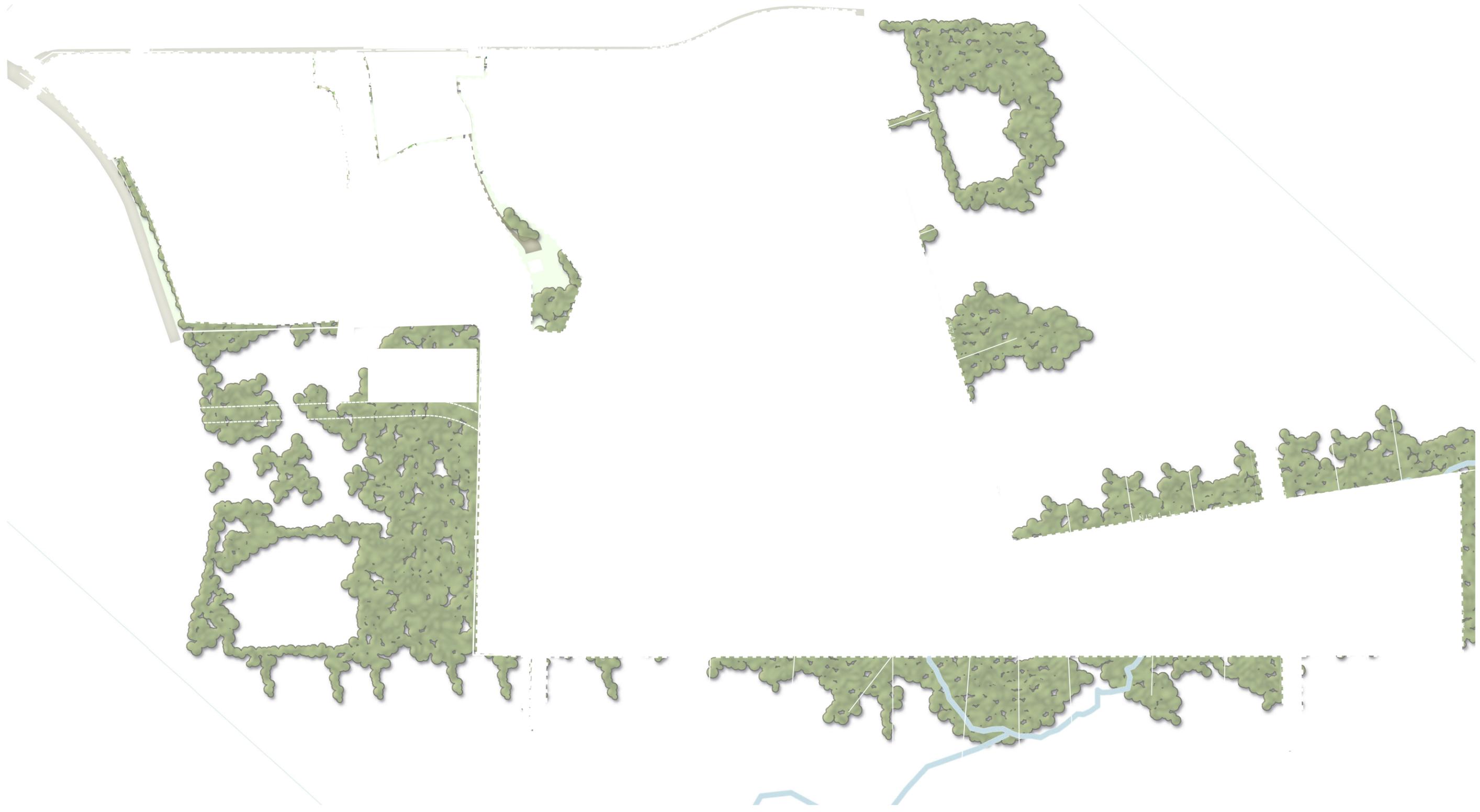
relatively small, this process builds constituents and support for the park, critical to its long-term success. The local Williamson Vocational School is also a good candidate to assist with some building renovations in the park.

### **Friends-of-the-Park**

Similar to participation by school groups, the establishment of a non-profit 501 (C) (3) Friends-of-Smedley-Park group can help raise grass roots funding for the park and provide a conduit for tax deductible donations and foundation funding.

### **Sports Organizations**

Sports Organizations may be willing to contribute in the same manner as the school district and friends-of-the-park to help implement or fund improvements and to help to maintain Smedley Park.





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## **Appendix**

- **Meeting Minutes, Notes, & Attendance List**
- **DCNR Plan Approval**
- **PNDI Search Results**
- **Estimate of Probable Development Costs**
- **Deed Restrictions**
- **Public Comment**

<u>Meeting Schedule - Smedley Tract Master Site Plan</u>		
<i>Middletown Township, Delaware County, PA</i>		
9/16/2009		
Simone Collins # 09076.10		
Horsman Associates, Inc. Frens and Frens Restoration Architects		
Mtg. No.	Committee	Date
<b>2009</b>		
1	Committee Meeting #1 - Programming / Project Kick off	Wednesday, September 16, 2009
2	Committee Meeting #2 - Analysis - possible site walk (Daytime meeting, 10:00 AM)	Saturday, October 03, 2009
3		Thursday, October 29, 2009
4	Committee Meeting #3 - initial design options	Tuesday, December 01, 2009
5	Public Meeting #1 - Programming	Tuesday, December 15, 2009
<b>2010</b>		
6	Committee Meeting #4 - Review work in progress	Tuesday, January 19, 2010
7	Committee Meeting #5 - Draft plan review	Tuesday, February 02, 2010
8	Public Meeting #3 - Present Draft Plan	Tuesday, March 16, 2010
9	Committee Meeting #6 - review and agree on plan revisions	Tuesday, April 20, 2010
10	Public Meeting #4 - Present final plan to Council	June 2010
<i>All meetings will be at 7:00 PM at the Middletown Township Building, except October 3.</i>		



10/07/2009

## Smedley Tract Master Site Plan

### MEETING MINUTES – Committee Meeting #1 (Kickoff Meeting)

SC# 09076.10

Meeting Date: September 16, 2009  
Meeting Time: 7:00 PM  
Location: Middletown Township Building  
27 N. Pennell Rd., Lima, PA 19037

Present:

Peter Simone	Simone Collins, Inc. (SC)	<a href="mailto:psimone@simonecollins.com">psimone@simonecollins.com</a>
Ann Buckwalter	Simone Collins, Inc. (SC)	<a href="mailto:abuckwalter@simonecollins.com">abuckwalter@simonecollins.com</a>
Erik Karlsson	Simone Collins, Inc. (SC)	<a href="mailto:ekarlsson@simonecollins.com">ekarlsson@simonecollins.com</a>
Dale H. Frens	Frens and Frens, LLC.	<a href="mailto:dfrens@frensandfrens.com">dfrens@frensandfrens.com</a>
Kirk Horstman	Horstman Associates	<a href="mailto:horstman1@prodigy.net">horstman1@prodigy.net</a>

See attached attendance sheet

Action items are in **bold**.

1. Peter Simone (PS) began the meeting with introductions.
2. A brief overview of the project schedule was given. At this time, presentation of the final Master Site Plan is scheduled for June of 2010.
3. Committee members were encouraged to attend the upcoming public site walk on October 3, 2009.
4. **PS asked that the Committee members recommend key persons for interviews (8).** He suggested the Principal of the Penncrest High School as a possible candidate.
5. PS explained that the purpose of the kickoff meeting is to obtain input from the committee on their ideas for the property. Committee members encouraged to offer their ideas and suggestions for the park and these were organized under goals, facts and concepts by SC to guide formulation of the Master Site Plan. A record of the information obtained during the meeting is attached with these minutes. These comments and comments from the upcoming public meeting will become a part of the base information for the master planning process.
6. The discussion began with a focus on the main barn and the historic significance of the property. Simone Collins (SC) recommended that stabilization of the barn be a high priority for the Township if they intend to renovate the structure. Dale Frens (DF) cited an estimated cost for barn stabilization at \$20,000 to \$30,000.
7. It was suggested that the barn could function as a youth center. It was noted that Dana Riger is active leading the Healthy Community Initiative Program in the area and that she had been looking for a location to run the program from. Programs may be a way to maintain some of the park.

8. PS recommended that the Committee apply for a grant to support the barn renovation. He mentioned that April 2010 may be the last best chance to get funding from the State given current economic conditions.
9. PennDOT may be looking at design changes to the Rt. 352 and Rt 1 interchange. There may be funding through PennDOT for the park that could be negotiated if PennDOT road improvements move forward.
10. The local sewer authority may be planning for sewer lines and easements. Easements through the Smedley Tract from Blackhorse Lane may be requested. **Kirk Horstman (SC team) will meet with the Mike Majeski Manager of the Sewer Authority to review current plans.**
11. A new driveway location and pedestrian crossing to the High School was suggested. Traffic levels on Rose Tree Rd. are a problem. **A Traffic Study of the area may already exist.** PS noted that a Highway Occupancy Permit (HOP) may be required to open new driveways to the property. PS estimated that the park may need 50 – 100 parking spaces for its visitors. PS also recommended that the Township consider a street light on a timer for safety as part of the entrance design.
12. The house on the corner of Rose Tree Rd and Rt. 352 is currently unoccupied and would require restoration to become usable. One possible use that was mentioned was using the house as the Historical Society offices and display area. A second suggestion was as a Community Supported Agriculture (CSA) site. The house could be occupied by the CSA manager.
13. There are currently two occupied houses on the property. Middletown Township plans to keep the tenants apprised of park planning.
14. There was concern about restrooms and improvements attracting vandalism to the park. Reference was made to vandalism problems at Lenni Park, a local park with restrooms. SC comments that regular police patrols and park use would reduce the vandalism.
15. PS reviewed site visit details and concluded the meeting. **SC will provide a press release and flyer to the Township to advertise future public meetings.**

*The preceding notes are the professional's summation of the meeting and not an official transcript. Please advise of any errors or omissions.*

Submitted by:

SIMONE COLLINS  
LANDSCAPE ARCHITECTURE



Erik Karlsson

Cc: Committee Members (by Middletown Twp.)  
SC Team

Enc: Attendance Sheet  
Cards Record

10/07/2009

## Smedley Tract Master Site Plan

Master Planning Committee Meeting #1 – Planning  
SC# 09076.10

### GOALS

- Master Site Development Plan
- Adaptive Reuse of Buildings
- Plan For Neighborhood Park
- Protect Environmentally Sensitive Areas

### FACTS

- 76 Acre Park
- Existing Barns
- Four Existing Tenant Houses
- Wildlife Habitat
- Open Views
- Deed Restrictions
- Rose Tree Road Traffic Volume
- Deer
- Highest Point in Area
- Property Covenants
- Back to school night shuttle bus from mall
- PennDOT Road Changes

### CONCEPTS

- Interpret Site History
- Active Recreation
- Passive Recreation
- Barn Used for Senior Citizen Activities
- Innovative Stormwater BMP's
- Historic Center
- Reflect Heritage
- Stabilize Main Barn
- Barn Walls
- Save Main Part of Barn?
- Save Silos?
- Public Sewer / Sewer Easements
- PennDOT Plans
- New Entry
- May need Highway Occupancy Permit (HOP) for driveways
- Traffic Study?
- High School Parking Lot?

- Tenants Remain
- Playground?
- Adult Active Recreation
- Unique passive uses
- Rose Tree Road Traffic Concerns
- Picnic Grove
- Trails
- After School Use of Barn?
- Soccer
- Neighborhood Connections
- Park lighting?
- Light for Main Entry to 352?
- Community Garden (Private Plots or CSA )
- Corner House - CSA Manager Residence?
- Softball /Baseball Removable Backstop
- Park Maintenance Cost
- Student Prospects (ex: invasive Specs)
- Williamson Free Trade School
- Restrooms
- Vandalism?
- Invasive Plant Species Removal/Control
- Pedestrian Crossing to High School
- Park Parking
- Mall Share Parking
- Gathering Place
- Agriculture "Idea Garden"?
- Tennant as "caretaker"?
- Connections to Local Parks and Open Space
- Park Concessions?
- WiFi
- Dog Park?
- Water Recreation?

### PARTNERS

- DEP
- DCNR
- Delaware County
- Local & Regional Businesses





11/10/2009

## Smedley Tract - Master Site Plan

### MEETING MINUTES – Public Meeting #1

SC# 09076.10

Meeting Date: October 29, 2009  
Meeting Time: 7:00 PM  
Location: Middletown Township Building

Present:

Peter Simone	Simone Collins, Inc. (SC)	<a href="mailto:psimone@simonecollins.com">psimone@simonecollins.com</a>
Ann Buckwalter	Simone Collins, Inc. (SC)	<a href="mailto:abuckwalter@simonecollins.com">abuckwalter@simonecollins.com</a>
Erik Karlsson	Simone Collins, Inc. (SC)	<a href="mailto:ekarlsson@simonecollins.com">ekarlsson@simonecollins.com</a>
Carol Quigley	Frens and Frens, LLC.	<a href="mailto:dfrens@frensandfrens.com">dfrens@frensandfrens.com</a>

See attached attendance sheet

1. Peter Simone (PS) began the meeting with introductions.
2. A brief overview of the project schedule was given. At this time, presentation of the final Master Site Plan is scheduled for June of 2010.
3. Erik Karlsson then presented the site analysis and discussed various site features and briefly described the buildings and identified the area open for active recreation by restriction. He also noted that the woodlands have been adversely affected by the local deer population which has allowed invasive plant to take hold in many interior and woodland edge areas.
4. Carol Quigley presented a discussion of the various buildings on the site from the architectural view point. She described the residential buildings as structurally sound. The barn requires stabilization; it's future use will define how it is restored.
5. PS explained that the purpose of the public meeting is to obtain input from the public on their ideas for the property. The public was invited to provide their thoughts and concerns for the property which were then organized as goals, facts, concepts or partners (the card system) by the design team. These will be used to guide the development of the Master Site Plan. A record of the information obtained during the meeting is attached with these minutes.
6. The discussion began with an overview of the property history, and potential design issues such as stormwater management, parking and view shed protection.
7. A question regarding the use of the property as a site for a new public library was raised. The deed restrictions would allow a library within the footprint of the existing buildings.
8. A question as to who would be responsible for the maintenance of the property was asked. The site is owned by the Township and would be maintained by the Township.
9. It was stated that the Smedley's will be consulted regarding all matters pertaining to the property restrictions and their effect on site planning.
10. The views of the immediate landscape and of the Philadelphia skyline from the upper portion of the site were discussed. It was agreed that preserving and enhancing views should be a prime direction of the planning.

Stephen Sinclair \ X: \ 09076.00 Middletown Twp Smedley  
Tract \ Meetings \ 091029\_Public Mtg #1 \ 09076 \ 091110\_Public Mtg

1\_Minutes\_AB.doc

11. Developing a raised view platform or using the barn silos as view platforms was suggested. The plan will consider these.
12. The meeting proceeded with further discussion and suggestions which are documented in the attached lists and include: senior citizen center, playground, teen gathering place, walking trails with exercise stations, dog park, gazebo, community gardens and local food production, as a place for young people to perform community service.
13. Suggested partners for the park include: Williamson School, Penn State, school district, Sun Oil, local businesses and others.
14. It was noted that PennDOT has been looking at changes to the Rt1 and 352 interchange which may impact a portion of the park. It was noted that the interchange project may provide an opportunity for the park to fund improvements through funding from PennDOT.
15. The preservation of the barn was discussed and it was agreed that the barn was a local landmark and should be preserved. PS noted that Frens and Frens can prepare a temporary stabilization plan for the barn which will protect the structure for a period of time while planning and funding proceeds. Organizing a "Friends of the Barn" group to raise funds specifically for the barn was suggested. SC recommended that the Township should consider applying for funding from the state for the barn stabilization and renovation. The deadline for funding requests is in April 2010.
16. Funding the maintenance of the park was raised as a concern.
17. A suggestion for funding maintenance was to organize softball tournaments. These are popular and can last several days which would translate into rental fees for the Township.
18. Restrooms can be part of the plan. The deed restrictions require that they be within the existing building footprints.
19. Additional suggestions and concerns are documented on the attached sheets.
20. The next Smedley Tract meeting will be a committee meeting on December 1, 2009, 7:00 PM at the Township Building and the next public meeting will be on December 15, 2009, 7:00 PM to review the preliminary plans also at the Township Building.

*The preceding notes are the professional's summation of the meeting and not an official transcript. Please advise of any errors or omissions.*

Submitted by:

SIMONE COLLINS  
LANDSCAPE ARCHITECTURE



Erik Karlsson, RLA

Cc: Committee Members  
Enc: Attendance Sheet  
Cards Record





**Minutes of Smedley Public Meeting #2  
Tuesday, December 15, 2009 at 7pm**

**1. Introductions**

Township Manager Bruce Clark began the meeting by providing background detail on the Smedley property purchase process and how the Declaration of Restrictions was developed as a part of the agreement of sale between the Smedley family and Middletown Township. Walter Smedley, Jr. spoke about the family's intent to make sure that the ground was preserved for future generations of Township residents.

**2. Project Schedule**

Peter Simone of Simone Collins Landscape Architecture reviewed the master site planning project schedule as it has been laid out (attached).

**3. Review of Public Meeting 1**

Peter then briefly reviewed the various concepts for the property that had been suggested at the first public meeting on October 29, 2009 (attached).

**4. Existing Features**

Peter gave a powerpoint presentation that detailed the existing features of the site, including pictures of each of the 4 tenant houses. He reviewed the deed restrictions of the property as they could impact any park development plans. Peter then reviewed three concept plans for Field area A and Field area B that displayed varying intensities of use.

**5. Building & Site Concepts**

Dale Frens, Architect at Frens and Frens Architecture, reviewed the physical conditions of the buildings, paying particular attention to the main barn. The original barn was the large central square of about 2,000 square feet per floor. The forebay and south shed were added later, as were the two siloes. As far as long-term preservation options, it would cost approximately \$2.2 million to preserve the original portion of the barn and the siloes connected to the outshed and rehabilitate it into a year-round occupied space. Dale stated that this amount of work would need to be driven by a programmatic need for the space. Final use of the barn may not be determined for a number of years after the master site plan is completed.

Dale described how to preserve the space in the interim to hold the resource until a decision is made about how to use it. He stated that a 2x8 shoring wall would need to be built from the ground to the rafters at mid-span. The broken rafters would need to be repaired with tie rods, and the forebay and outshed would be demolished. For a 2-3 year fix, the roof could be covered with a heavy plastic tarp to keep water out at a cost of \$28,000. A pre-formed metal roof or corrugated fiberglass roof would cost about \$45,000 and last about 10 years. The \$17,000 difference in price is based on the roof covering material used. The freestanding siloes would also remain, and would need to have their roofs stabilized as well at an additional cost.

Dale stated that the stone walls of the barn were re-pointed about thirty years ago, which aids in the stability of the walls. The main danger is that the failing roof could pull the walls of the barn down if/when it collapses. The south wall of the original barn is supported by a steel beam and pipe columns, giving some added support. Dale recommends that the roof be covered within a year to prevent any further damage to the barn structure.

As for the test barn, the main focus of renovation would be for near-term use. The space is approximately 1,200 square feet. The space could be amenable to a possible restroom area. Dale stressed that the extent of storage, office, bathroom and activity use should be determined in the near future to carve out those essential spaces before they are identified as something else. The test barn is of modest construction and there would be no need to preserve the existing features, making renovation less complicated. It is also on-grade, making accessibility easier.

There has been some discussion about the “school house”, also known as Oak Lawn, being renovated to house the Middletown Historical Society. Though the Declaration of Restrictions states that the four residences on the property are to remain as residences, the idea is still up for discussion. Dale stated that it would cost about \$211,000 to demolish the existing kitchen addition and replace it with a first floor bathroom facility required for ADA accessibility.

Dale stated that he believes the intent of the master site planning process is to maintain the heritage of the land itself, and that the potential use of the buildings is just the “icing on the cake.” Peter mentioned that a “Friends of Smedley Park” non-profit group that works in conjunction with Township Council might eventually be formed to help raise money for restoration purposes.

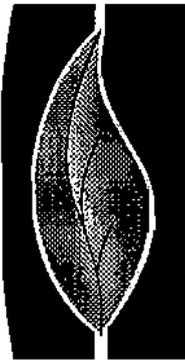
## **6. Comments & Questions**

During the course of discussion, several residents suggested other possible uses and activities on the property, including an area set aside for picnicking, a vantage point area where people can go to see the city skyline, 4<sup>th</sup> of July fireworks, and the full moon, and a possible area in the woods for Boy Scout camping. A resident brought up the difficulty inherent in the restriction of fencing and permanent structures in terms of being able to properly play softball or baseball. Peter mentioned that temporary fencing is a possibility. Dale went on to say that in the spirit of the heritage of the property, wagons could possibly be used to wheel out and hold bleachers, a backstop, and any other temporary structures needed for playing a game, then be wheeled back to storage after its use.

Next Public Meeting, Draft Master Plan: Tuesday, March 16 at 7pm at the Township Building.

Respectfully Submitted,

Meredith F. Merino

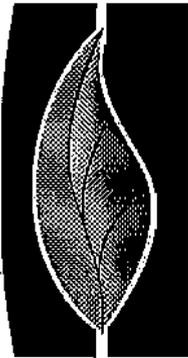


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## MEETING SIGN IN SHEET

Project: **Smedley Tract Master Site Plan** Project No.: **09076.10**  
 Location: **Middletown Township Building** Date: **12/15/2009**  
 Topic: **Public Meeting 2** Time: **7:00 pm**

NAME	ADDRESS	PHONE	EMAIL
1. Meredith Menard	Middletown Twp.		
2. Gary Grove	275 New Darlington Rd		
3. Peter Wolff	33 N. Middle Ferry Rd.		
4. Ken Woznicki	24 Springhouse Ln.		
5. Harry Moore	20 Meadowbrook Lane		
6. Debbie Timblin	204 Meadowcroft Lane		
7. Steve McCarren	447 Lumbago		
8. Tony Miranda	COMMITEE		
9. Earl Evans	236 BARN ROAD		
10. Steve Wood	475 MINNIPONCE LN	610 566 4284	
11. Ron Woodfrey	531 Smedley Ave		
12. Rich Woods	669 W. Rose Tree Rd.		
13. Matthew Kepney			
14. Bob Schulte	30 Chiswick Ln	610 892 7295	
15. Tony Terapi	2098 BERRY LAKE	610-566-7486	
16. Philip Seufert	344 S Old Middletown	610 566 5207	
17. Michael Bond	245 w. Knowlton Rd	610 488 9095	
18. Lauren Bond	245 w. Knowlton Rd	610 499 9095	
19. Michael Colkitt	3 Marjory Lane	610 565 9860	
20. LORRAN BERSHAW			



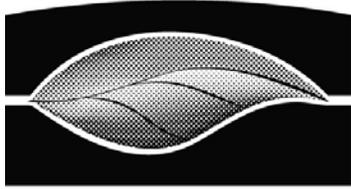
# SIMONE COLLINS LANDSCAPE ARCHITECTURE

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## MEETING SIGN IN SHEET

Project: Smedley Tract Master Site Plan Project No.: 09076.10  
 Location: Middletown Township Building Date: 12/15/2009  
 Topic: Public Meeting 2 Time: 7:00 pm

NAME	ADDRESS	PHONE	EMAIL
1. Mary Anne Eyo	58 Bomen Rd	610 866-2342	FFA PHILA@hotmail.com
2. Sandy Alenther	47 Bomen Rd	610 891 1842	
3. Mike Morgan	1247 Wood Ave West Chester	610-701-2000	michael.morgan@jajobs.com
4. Chris Bannan	224 LAUREL RD	610-565-8846	CMBANNAN@VERIZON.NET
5. Bill Davidson	12 General Stenow Dr.	610-891-0427	bdavidson97@comcast.net
6. Steve BYRNE	17 Carriage Dr.	610-909-5339	Sbyrne@brandywineclub.org
7. Chris Quinn	26 Carriage Dr	484-326-9595	Chris@GIAAgency.com
8. Shannon Davis	121 Bortondale Rd	610 566 1533	SDAVIS637@COMCAST.NET
9. The Helm	6 ALBERTS TRAIL	484-686-7871	jr1@mgccpa.com
10. DEAN HELM	403 Old Horse Lane	(610) 892-0348	helms@msn.com
11. Peter Alenther	Dr. James Trenton		
12. David Irving	10 Kambake Dr, PA 19114	610 866-4851	Jakob@Irving@aol.com
13. Susan & Michael	33 Oriole Ave	610-565-2168	Susanm@comcast.net
14.			
15.			
16.			
17.			
18.			
19.			
20.			



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## MEETING NOTES

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Project: **Smedley Tract Master Plan** Project #: **09076.10**

Location: **Middletown Township Building** Meeting Date/Time: **1/19/2010 7:00 PM**

Topic: **Committee Meeting #4** Issue Date: **4/4/2010**

Attendees: **Lorraine Bradshaw  
Steve Byrne  
John Hanna  
Meredith Merino  
Tony Mirenda  
Chris Quinn  
Dana Riker Jackson  
Sarah Leeper  
Peter Simone**

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### NOTES:

1. Pete reviewed the meeting agenda noting that we were looking for direction from the committee on preferred site plans and building renovations. As directed by the committee SC will compile recommendations into a draft plan for committees review and comment on Feb 2 and for public presentation in March. Following the public plan the draft plan will be available for public review for a minimum of 1 month.
2. Public comments to date were reviewed.
3. What the current active recreation needs were in the township? It was stated that the softball program currently has 500 girls enrolled (1/3 are residents of MT) and that there are currently no softball fields located in the township for their use. It was stated that there is also a great demand for other field types such as soccer.  
  
The current softball program is accustom to using non traditional field facilities and would use the Smedley fields as designed according to the property covenant.
4. What the current outfield length? It is currently shown at 200'; it was requested that the design be revised to 225'. It was also suggested that an all purpose turf mix be used for the fields if they were going to accommodate multiple sports
5. How large is the open field area in Concept 3 and could it be farmed? The area is approximately 6.25 acres and that it could be farmed. It may not be large enough to accommodate large scale farming as suggested by the public. However, the committee was in agreement that farming be included during the phased improvement of the park.
6. The PennDOT plans for new Blackhorse Lane Ingress / Egress Point was discussed. It was suggested that the park plan be revised to show a future park

entrance from the proposed road location. It was suggested that the “excess” land that would need to be purchased by PennDOT to accommodate the road could be dedicated as part of the park. Any future utilities being brought into the park along this corridor should be coordinated with Penn DOT roadway alignment plans.

7. It was suggested that parking (15-20 spaces) be added into “Field B” area near Rose Tree Road, to allow for future use with the school multi-use field across the street.
8. Pete S. discussed the phasing of Concept 3 and recommended that the development of the “Field A” active recreation fields along with ingress/egress improvements from Rose Tree Road and parking be the first phase of the park development. Future phases would include building renovations, trail improvements, and the development “Field B” fields and parking.
9. The committee was in agreement that with the changes discussed and that Concept 3 was the preferred site master plan.
10. Recommendations for each building were discussed.
11. 79 North Middletown Road: Recommended renovations are to restore it to a single family residence. The committee would like to pursue a partnership with Williamson School to perform the restoration work. Due to the covenant the house is limited to a single family use - however it was suggested that it could serve as a residence to a person that may choose to operate a community activity within their home such as historical society meetings.
12. 746 Rose Tree Road (house at road): Recommended that the house is in good condition and requires no renovations and should continue to serve as a single family residence. SC to show some yard privacy improvements in master plan.
13. 742 Rose Tree Road (barn attached): Renovations would be needed to the house to make it a useable space. However it will be difficult for this house to serve as a single family residence due to its central park location and the activities that would be taking place around it and in the adjacent “Test Barn”. While a park caretaker might be able to put up with a lack of privacy another alternative – pending any future to the covenant that the structure could be maintained as a possible residence and in the interim, serve as a park materials / equipment storage facility – while still maintaining the spirit of the covenant.
14. 740 Rose Tree Road (house in woods): The house required renovations. It must remain a residence however its unique characteristics (small size, etc) will require tenants who really like these constraints.
15. Main Barn: The committee recommends that MT pursue stabilizing the roof structure through the construction of a temporary wall and covering of the roof – and removal of the rear addition - as recommended by Frens and Frens. The order of magnitude cost for the stabilization is estimated at \$46,000 plus design fees. There may be funds available to pursue that stabilization. It was suggested that the Township start a non-profit organization to help with the long term stabilization and restoration of the barn since it may be difficult for the Township to take on such a project alone.





February 4, 2010

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## MEETING NOTES

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**Project:** Smedley Tract Master Plan      **Project #:** 09076.10

**Location:** Middletown Township Building      **Meeting Date/Time:** 2/2/2010 7:00 PM

**Topic:** Committee Meeting #5      **Issue Date:** 4/4/2010

**Attendees:** Lorraine Bradshaw  
Earl Evans  
Dean Helm  
Pat McCoy  
Meredith Merino  
Sue Mescanti  
Tony Mirenda  
Chris Quinn  
Steve Wood  
Peter Simone

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### NOTES:

1. Pete reviewed the major changes to the draft plan since the last draft was reviewed by the committee.
- **New Entrances:** A new entrance labeled 21 on the Draft Master Site Plan was added, which is across from the driveway to the Penncrest school property. A second entrance labeled 9 was also added. With this layout, the Township would be able to gate the main entrance to keep the barn and residence area private, in keeping with the historic and residential nature of the site. The central drive would then only be used by the tenants. The entire interior drive area, include between the barn and the residence could be opened on busy days and for events.
- **Future Road Improvement:** A possible new PennDot road was drawn in on the southwest corner of the property, which if ever built, could serve as another potential park entrance, with connection to a drop-off circle that was also added to the plan.
- **Parking:** A parking lot designated as 22 on the plan was added to facilitate the use of the Penncrest fields across Rose Tree Rd. It was noted that PennDOT doesn't normally permit mid-block pedestrian crossings.
- **Garden:** An area was set aside near the schoolhouse (79 N. Middletown Rd) for a formal garden/horticultural display or demonstration rain garden.
- The two softball fields and soccer field previously laid out on the west field area were spread out to decrease the overlap on the outfields and soccer field.

2. Pete reviewed the details of the plan in the “Farm Core” area, which includes an area for community garden plots, an events courtyard which could host a variety of Township activities, fencing to delineate the courtyard and provide privacy for the residents, as well as a walled courtyard and a picnic grove.
3. Pete discussed the phasing of the plan and recommended the following:
  - Phase 1: Development of the west field softball fields and soccer field with new driveway entrance and parking.
  - Phase 2: Development of the community gardens, test barn renovation
  - Phase 3: School house residence renovation (demo back addition and re-build, new windows, electric, heating) with largely volunteer labor
  - Phase 4: Development of the east softball and soccer fields
  - Phase 5: Development of woodchip trails throughout the property (which could be done more quickly with boy scout volunteers)
  - Phase 6: Renovation of the barn

After some discussion, it was suggested that the development could occur in 7 phases, with the 1<sup>st</sup> Phase being the barn stabilization and trail development, along with temporary parking.

4. Pete mentioned some other things that could be added to the plan before the public presentation, including a natural tot-climbing area, possibly located near the playing fields. The addition of sewer lines and other utility costs will also need to be accounted for.
5. The unit costs for plant materials will be revised.
6. The committee was in agreement with the draft plan as shown and the subsequent changes discussed, to be implemented prior to the public draft plan presentation.

NEXT MEETING:

**Public Meeting #3 - Present Draft Plan**

**March 16**

Respectfully Submitted,

Meredith Fretz Merino



March 16, 2010

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## MEETING NOTES

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Project:	Smedley Tract Master Plan	Project #:	09076.10
Location:	Middletown Township Building	Meeting Date/Time:	3/16/2010 7:00 PM
Topic:	Public Meeting #3	Issue Date:	4/5/2010

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### NOTES:

1. Pete reviewed the three concepts that were developed during the planning process.
  - New Entrances: A new entrance labeled 21 on the Draft Master Site Plan was added, which is across from the driveway to the Penncrest school property. A second entrance labeled 9 was also added. With this layout, the Township would be able to gate the main entrance to keep the barn and residence area private, in keeping with the historic and residential nature of the site. The central drive would then only be used by the tenants. The entire interior drive area, including between the barn and the residence could be opened on busy days and for events.
  - Future Road Improvement: A possible new PennDOT road was drawn in on the southwest corner of the property, which if ever built, could serve as another potential park entrance, with connection to a drop-off circle that was also added to the plan.
  - Garden: An area was set aside near the house at 79 N. Middletown Rd for a formal garden/horticultural display or demonstration rain garden.
  - Pete reviewed the details of the plan in the "Farm Core" area, which includes an area for community garden plots, an events courtyard which could host a variety of Township activities, fencing to delineate the courtyard and provide privacy for the residents, as well as a walled courtyard and a picnic grove.
2. Pete discussed the phasing of the plan and recommended the following:
  - Phase 1: barn stabilization through donations, grants, and the possible formation of a "Friends of the Park" non-profit organization; temporary parking and trail development through selective clearing, grading, and laying woodchips.
  - Phase 2: Development of the west field (Field A) softball fields and soccer field with new driveway entrance and parking.

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- Phase 3: Development of the community gardens, test barn renovation
  - Phase 4: School house residence renovation (demo back addition and re-build, new windows, electric, heating) with largely volunteer labor
  - Phase 5: Development of the east softball and soccer fields (Field B)
  - Phase 6: Renovation of the barn
3. Dale Frens of Frens & Frens Architects discussed his review of the various buildings situated on the property. Dale stated that the short-term challenge is for everyone to agree on the names for the buildings, since they all have obtained more than once reference over the years.
- For “Oak Lawn” (a.k.a the school house, 79 N. Middletown Rd), Dale’s short-term recommendation was to remove the wood frame addition and paving around the house to divert water away from the foundation. Oak Lawn was built during the 2<sup>nd</sup> quarter of the 19<sup>th</sup> century. Long-term recommendations include preserving the stone house and putting the mechanicals (kitchen/bath) on the second floor.
  - The house known as “Hilltop” (746 W. Rose Tree Rd) was built around 1920 and is in very good condition with no capital improvements needed. The wagon barn that goes with the house has also been maintained, but will eventually need improvements to the sill that was added after the original barn structure was built.
  - The short-term recommendations for the Bank Barn include removing the deteriorated southside forebay which had been added on to the original structure, temporarily stabilizing the barn with a shoring wall, new rafters and a temporary (10 year) roof made of metal or plastic. The remaining eastern wall is leaning and should be taken down to five feet. This will maintain the original footprint and create a garden space. Dale recommended that the outsheds be kept. Eventually, the ground floor of the barn can be turned into four-season space, and the second floor can remain “barnlike” and be used as a three-season space. The main part of the barn has the date 1812 carved into the wood floor.
  - The “Test Barn,” according to Dale, would be the easiest to convert for use based on accessibility issues. It is at ground level and could be converted to activity space and have an area carved out for bathroom facilities that would serve the entire park.
  - The house known as “Longview” (742 W. Rose Tree Rd) is attached to the test barn. According to Dale, it was originally built as support for the dairy, then converted to a residence. Because of its proximity to future public space, it will be unlikely that it can be used again as a residence and may best be used for storage.
  - The “Spring House” (740 W. Rose Tree Rd) is a small well-kept house that used to actually be the spring house for the farm and was turned into a residence.
4. Public Comments
- Mary Ann Eves read a statement regarding Oak Lawn on behalf of the Middletown Historical Society (to be posted on the Township website) which will be included as part of the final master plan report.
  - John Bartholomeu questioned the community need for the additional playing fields and suggested that instead, a pond be built on the property. Lorraine Bradshaw responded that the committee had investigated the

need for additional athletic fields, had spoken with various athletic groups, and determined that the need is present.

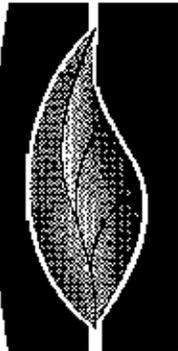
- Peter Wolff commended the outcome of the planning process and asked if the orientation of the fields could be changed to maximize field use. Pete Simone responded that the fields are located based on a north-south orientation to minimize sun glare. This orientation is also required by DCNR, as part of this plan is funded through the state.
- Another audience member asked if porous asphalt could be used in the development of the driveways and parking to help with stormwater management. Pete responded that although it is not written directly into the plan, it is definitely something that should and can be considered.
- Betsy Barnes, Director of the Middletown Free Library, asked if there were intentions of building a library in the Bank Barn space on the property. Pete responded that that particular use had been written as an option into the Deed Restrictions and that it certainly could be an eventual use for the space. Dale added that building uses can be plugged into the spaces over time. Long term rehab of the building to convert it to some specific civic function may be achieved with the development of its own outside funding stream.

5. The concept plans and draft report will be available on the Township website on or around April 1.

NEXT MEETING:

**Public Meeting #4 - Final Plan Presentation      June (date to be announced)**

Respectfully Submitted,

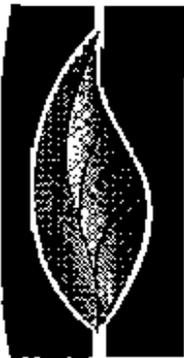


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**MEETING SIGN IN SHEET**

**Project:** Smedley Tract Master Site Plan Project No.: 09076.10  
**Location:** Middletown Township Building Date: 3/16/2010  
**Topic:** Public Meeting 3 Time: 7:00 pm

NAME	ADDRESS	PHONE	EMAIL
1. Mary Anne Eves	533 Barren Rd	610-566-2342	LimaAston@Hotmail.com
2. Tony Myranda	461 SPAIDEN VALLEY ROAD	610-565-2904	ADAMSEN102@GMAIL.COM
3. DEAN WELM	723 Old Horse Lane	610 892-0348	helms@msn.com
4. GARY GROVE	275 NEW DANLINGS RD	610 357-5257	agrove@cyberbom-tri.com
5. GREG MITCHELL	14 Annkeed Trail	610-891-9474	gregoryjmillar@gmail.com
6. Chris Ginn	26 Conning Dr	610-565-3030	Chris@GIAgency.com
7. JOHN BRADSHAW	16 E Glen Circle	610-565-4847	jbartsta@verizon.net
8. BRUCE SLARY	52 WYACRETOR		
9. Mike Taling	10 KEMBALLE DR	610 566-4861	VanKerkerFarm@aol.com
10. David Burn	177 Bortondale Rd	610 565 4329	Pumpkill@Hot.com
11. Tom Benthickson	60 Cedar Hill Lane	610-256-1670	thbenthickson@comcast.net
12. TOMY TERAGE	2603 BERRY LANE	610-566-7886	ANTHONY-TERAGIO@HOTMAIL
13. LORRANIE BRADSHAW			
14. Betsy Barnes	21.0 Berrill Rd	610-566-7878	midl@town@delco.com
15. SUZANNE DAVIS	121 BORTONDALE RD	610 566 1533	SDAVIS637@COMCAST.NET
16. Jeremy Holmes	214 Harrison Rd	610 996 7386	<del>jh</del> jdh77@comcast.net
17. Matthew Perry	10 Penn Charter Dr	715-690-2637	Shunko@state.mn.us
18. Dan Elias	22 Cabot Ct	610-566-8272	diana.hel@delco.com
19. DAVE DUFFORD	210 Chestnut Hill	610-419 8947	dsuk22@joh.mn.us
20. Peter Wolf	711 W. Rose Tree Rd	610-566-0440	PMAWolf@Verizon.net



**SIMONE COLLINS**  
**LANDSCAPE ARCHITECTURE**  
 511 OLD LANCASTER RD. BERWYN, PA 19312  
 PHONE: (610) 889 0348 FAX: (610) 889 7591  
 WWW.SIMONECOLLINS.COM

**MEETING SIGN IN SHEET**

**Project:** Smedley Tract Master Site Plan      **Project No.:** 09076.10  
**Location:** Middletown Township Building      **Date:** 3/16/2010  
**Topic:** Public Meeting 3      **Time:** 7:00 pm

	NAME	ADDRESS	PHONE	EMAIL
1.	Peter Wolff (2)	33 N. Middletown Rd	610-306-5853	Pw113@verizon.net
2.	Judy McDermott	227 Lenni Rd. Media	610-358-0984	judybskt@aol.com
3.	STEVE WOOD	47 SPANGLER LAKE MEDIA	610 566 4214	THEWOODSJK@comcast.net
4.	Eileen Goehring	12 Foxcroft Ln Media	610-566-6579	
5.	NICOLAS GROFFO	690 W. ROSETTIE RD	610-627-4959	butlerandgofto@mac.com
6.	Meredith Menzies			
7.	Debbie Timolin	201 Meadowcroft Ln	610 565 2700	debbietimolin@comcast.net
8.	SCOTT GALBRAITH	267 Stone Creek	610-566-6404	gallongesp@aol.com
9.	STEVE MANNING	P.O. BOX 234 LIMA, PA	610 565-6885	MANNINGRESTORATIONFRATERNITY@gmail.com
10.				
11.				
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May 17, 2010

## MEETING NOTES

<b>Project:</b>	<b>Smedley Tract Master Plan</b>	<b>Project #:</b>	<b>09076.10</b>
<b>Location:</b>	<b>Middletown Township Building</b>	<b>Meeting Date/Time:</b>	<b>5/13/2010 7:30 PM</b>
<b>Topic:</b>	<b>Committee Meeting #5</b>	<b>Issue Date:</b>	<b>6/13/2010</b>
<b>Attendees:</b>	<b>Lorraine Bradshaw          Mathew Ferry          John Hanna          Dean Helm          Dana Kiker Jackson          Pat McCoy          Meredith Merino          Sue Mescanti          Tony Mirenda          Marion Moran          Chris Quinn          Steve Wood          Peter Simone</b>		

The following comments were received prior to the meeting and the discussion points are noted.

1. New Park Name? There is already a Smedley Park.
  - Perhaps a contest for park name. Committee felt "Smedley" should be in the park name.
2. Move the community garden "west" closer to the parking lot to make parking closer and access more convenient.
  - It was agreed to relocate the community garden further to the west nearer to the proposed parking lot. This would make access to the garden easier. The area behind the barn could be lawn, or serve as an expansion area for the community garden if warranted. Also, the community garden would need to have deer netting around the garden to prevent browsing.
3. Increase the number of garden plots from 35 to 50.
  - See #2 above.
4. If the community garden is moved west, perhaps the areas it is now located in can become a tot lot (*SC note: remember – no traditional play equipment allowed*)
  - *Tot lot is already located behind main barn.*
5. Better controls for parking (Penncrest event) – rather than human / police control.
  - Committee felt controls / design was adequate
6. Add / convert softball field(s) to a full size baseball field.
7. Comment: no baseball field is exclusionary
  - The need expressed during the design process was expressly for softball fields. If, during the implementation of the park improvements – over a number of years – there is an expressed need for baseball, it could be considered at that time. Peter Simone suggested that the Township Comprehensive Park and Recreation Plan needs to be updated to accurately determine the need for additional athletic fields.
8. What is traffic impact on Rosetree Road? Any plans to manage traffic?
  - There have been no studies regarding traffic as part of this master plan.

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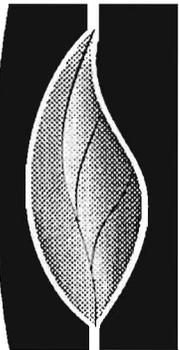
9. Congratulations – this is exciting.
10. Concerns about proposed trail to close to residential properties. Concerns about security, privacy and unwanted visitation.
  - Peter Simone noted that the trails could be shifted slightly to the west (away from the residential property lines) to a total distance of approximately 100 from the property lines. A note will be added to the narrative recommending some evergreen plant materials at the ends of the trail to add to the screening effect of the existing vegetation.
11. Do as little as possible – cut your losses. No simple fix. Township holding the bag. Just use as nature area.
  - No comments.
12. Offer / suggestions to farm the property in concert with school program. Local agriculture (David Ferrell)
  - Mr. Ferrell has the lease to farm the property. Parts of the property could be farmed over the long term, as noted in the master plan.
13. Add a dog park to the park.
  - This was discussed during the planning process, but not advanced by the committee. Additionally, this use would require permanent fencing, which is not allowed by the deed restriction.
14. Have Rose Tree Soccer and Rose Tree Optimist review field sizes
  - Rose Tree Soccer did attend some meetings.
  
  - Meredith noted that the plan will be presented to the Township Council on June 28<sup>th</sup>. Peter Simone can attend to make a very brief presentation (10 minutes).
  
  - The Township is waiting for comments from DCNR. After these are received, the final revisions will be made to the narrative. Simone Collins will make the plan changes ASAP and have them for the June 28<sup>th</sup> meeting.
  
  - The Committee agreed that it will recommend to the Township Council that the Barn Stabilization be authorized ASAP and that the Township should receive proposals from qualified consultants to design the stabilization, then it can be bid for construction.

Respectfully Submitted,

Simone Collins  
Landscape Architecture



Peter M. Simone, RLA, FASLA  
President



**SIMONE COLLINS**  
**LANDSCAPE ARCHITECTURE**  
 511 OLD LANCASTER RD BERWYN, PA 19312  
 PHONE: (610) 889 0348 FAX: (610) 889 7521  
 WWW.SIMONECOLLINS.COM

**MEETING SIGN IN SHEET**

Project: **Smedley Tract Master Site Plan** Project No.: **09076.10**  
 Location: **Middletown Township Building** Date: **5/13/2010**  
 Topic: **Committee Meeting 6** Time: **7:30 pm**

	NAME	ADDRESS	PHONE	EMAIL
1.	Meredith Yering			
2.	Susan Mescanti	33 Oriole Ave. Media	610-565-2165	Suspmescanti@comcast.net
3.	Diana Rikel Jackson	22 Cabot Court Media PA 19063	610-266-2272	Diana.H.Rikel@comcast.net
4.	STEVE WOOD	47 SPRING-HOUSE LN MEDIA PA	19063 610-566-9094	THEWOODSK@COMCAST.NET
5.	JOHN HANNA	6 Arrowhead Trail	610-891-0338	jrh@ugecpa.com
6.	Christopher Quinn	26 Carriage Dr	(610) 543-3800	Chris@QIAgency.com
7.	Matthew Ferry	18 Penn Charter Drive	610-566-8444	shnuk0805@msn.com
8.	DEAN HELM	403 OLDE HOUSE LANE	(610) 872-0348	helmins@msn.com
9.	Marian Moran	579 W. Rose Tree Rd	610-892-0255	marian.l.moran@hotmail.com
10.	ANTHONY MIRENDA	461 SPRING VALLEY ROAD	610-565-2904	ADMJENIOR@COMCAST.NET
11.	JORRAINE BRADSHAW			
12.	Pat McCoy	Middletown Twp	610-565-2700	pmccoy@middletown
13.			X22A	township.org
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# pennsylvania

DEPARTMENT OF CONSERVATION  
AND NATURAL RESOURCES

RECEIVED

JUN 1 2010

BUREAU OF RECREATION AND CONSERVATION

MIDDLETOWN TOWNSHIP

May 25, 2010

Ms. Meredith F. Merino, Assistant Manager  
Middletown Township  
27 N. Pennell Road  
P.O. Box 157  
Lima, PA 19037-0157

RE: Middletown Township, Delaware County  
Smedley Tract Master Site Plan  
BRC-TAG-14-221

Grant Agreement: Beginning Date: 7/01/08      Ending Date: 12/31/11

Dear Ms Merino:

We have reviewed the final draft of the Smedley Tract Master Site Plan as received by this office on May 10, 2010. We require that you address the following comments in finalizing the plan prior to printing.

1. The Bureau requires that the plan including maps and report be under seal of a licensed professional who is authorized by Pennsylvania law to apply the seal. Depending on the project, the professional could be a landscape architect, architect, or engineer.
2. Master Site Plan - indicate the total acreage of the site and metes and bounds on the site boundary lines.

Overall, the plan is well done and will serve as an excellent guide for implementation and preservation of parks, recreation and open space for your community. We hereby conditionally approve the final draft as submitted. In order to close out this grant project and for authorization of the final grant payment, the above comments must be addressed and the following items need to be submitted to the Bureau **by July 23, 2010**:

1. Three (3) printed and bound copies of the final study report.
2. One (1) electronic PDF copy of the final study report (as one complete document, not broken out by chapters, etc.) must be submitted to the Bureau.
3. A Final Payment Request Form properly completed and signed. A copy of the form is enclosed.

conserve      sustain      enjoy

P.O. Box 8475, Harrisburg, PA 17105-8475 | Phone 717.783.6705 | Fax 717.787.9577



4. A letter from your consultant stating that the contract/professional services agreement has been paid in full.
5. A copy of a resolution (template enclosed) passed and signed by the governing body certifying that:
  - a. The project was completed in accordance with the Grant Agreement;
  - b. All project expenditures have been made and were in accordance with the Grant Agreement;
  - c. The Plan and related materials are acceptable to the grantee, and;
  - d. The Plan and related materials will be used to guide future recreation and conservation decisions.

Your cooperation on the above mentioned matters will be most appreciated. If you have any questions or comments on the above or as you continue, please contact me. If you contact me by e-mail ([cydunlap@state.pa.us](mailto:cydunlap@state.pa.us)), please be sure to put the grantee name and contract number in the subject line.

Sincerely,



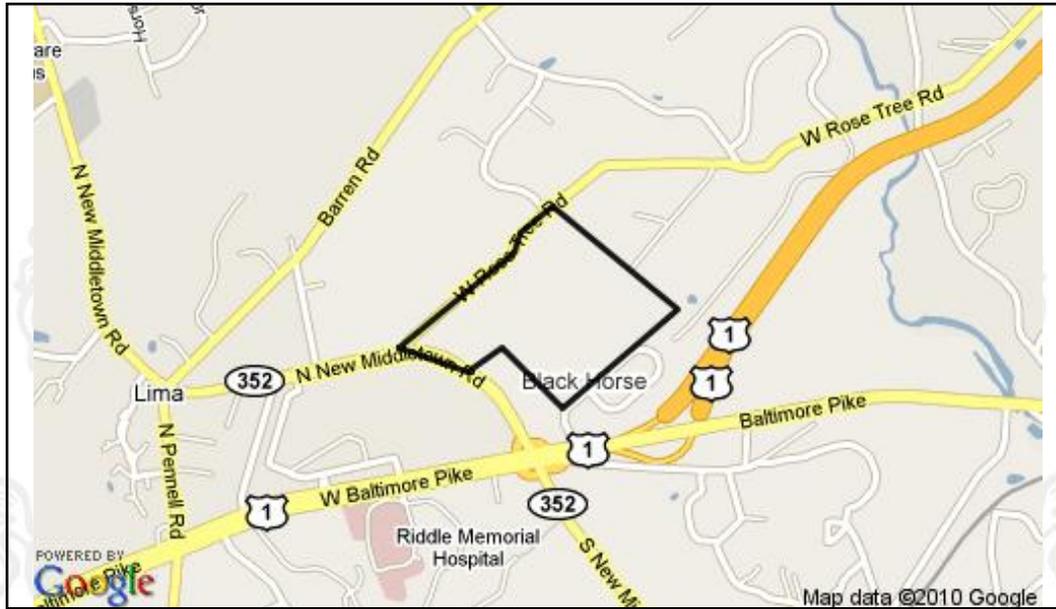
Cindy Dunlap, CPRP  
Chief, Planning Projects Section  
Grants Projects Management Division

Enclosure(s)

cc: Fran Rubert, Recreation and Parks Adviser

# 1. PROJECT INFORMATION

Project Name: **Smedley Tract Master Site Plan**  
 Date of review: **4/5/2010 9:41:14 AM**  
 Project Category: **Recreation,Other**  
 Project Area: **84.2** acres  
 County: **Delaware** Township/Municipality: **Middletown**  
 Quadrangle Name: **MEDIA** ~ ZIP Code: **19063**  
 Decimal Degrees: **39.919742 N, -75.419855 W**  
 Degrees Minutes Seconds: **39° 55' 11.1" N, -75° 25' 11.5" W**



# 2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	<b>Potential Impact</b>	<b>FURTHER REVIEW IS REQUIRED, See Agency Response</b>
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate there may be potential impacts to threatened and endangered and/or special concern species and resources within the project area. If the response above indicates "No Further Review Required" no additional communication with the respective agency is required. If the response is "Further Review Required" or "See Agency Response," refer to the appropriate agency comments below. Please see the DEP Information Section of this receipt if a PA Department of Environmental Protection Permit is required.

Note that regardless of PNDI search results, projects requiring a Chapter 105 DEP individual permit or GP 5, 6, 7, 8, 9 or 11 in certain counties (Adams, Berks, Bucks, Carbon, Chester, Cumberland, Delaware, Lancaster, Lebanon, Lehigh, Monroe, Montgomery, Northampton, Schuylkill and York) must comply with the bog turtle habitat screening requirements of the PASPGP.

### 3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for one year** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt.

#### PA Game Commission

**RESPONSE:** No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Department of Conservation and Natural Resources

##### DCNR Species:

**Scientific Name:** *Ageratina aromatica*

**Common Name:** Small White-snakeroot

**Current Status:** Special Concern Species\*

**Proposed Status:** Special Concern Species\*

**Scientific Name:** *Cynanchum laeve*

**Common Name:** Smooth Swallow-wort

**Current Status:** Endangered

**Proposed Status:** Endangered

**Scientific Name:** *Fimbristylis annua*

**Common Name:** Annual Fimbry

**Current Status:** Threatened

**Proposed Status:** Threatened

**Scientific Name:** *Scleria pauciflora*

**Common Name:** Few Flowered Nutrush

**Current Status:** Threatened

**Proposed Status:** Threatened

**Scientific Name:** Symphyotrichum depauperatum

**Common Name:** Serpentine Aster

**Current Status:** Threatened

**Proposed Status:** Threatened

**RESPONSE:** Further review of this project is necessary to resolve the potential impacts(s). Please send project information to this agency for review (see WHAT TO SEND).

### PA Fish and Boat Commission

**RESPONSE:** No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

### U.S. Fish and Wildlife Service

**RESPONSE:** No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 *et seq.*) is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

\* Special Concern Species or Resource - Plant or animal species classified as rare, tentatively undetermined or candidate as well as other taxa of conservation concern, significant natural communities, special concern populations (plants or animals) and unique geologic features.

\*\* Sensitive Species - Species identified by the jurisdictional agency as collectible, having economic value, or being susceptible to decline as a result of visitation.

## WHAT TO SEND TO JURISDICTIONAL AGENCIES

If project information was requested by one or more of the agencies above, send the following information to the agency(s) seeking this information (see AGENCY CONTACT INFORMATION).

#### **Check-list of Minimum Materials to be submitted:**

- \_\_\_ **SIGNED** copy of this Project Environmental Review Receipt
- \_\_\_ Project narrative with a description of the overall project, the work to be performed, current physical characteristics of the site and acreage to be impacted.
- \_\_\_ Project location information (name of USGS Quadrangle, Township/Municipality, and County)
- \_\_\_ USGS 7.5-minute Quadrangle with project boundary clearly indicated, and quad name on the map

#### **The inclusion of the following information may expedite the review process.**

- \_\_\_ A basic site plan (particularly showing the relationship of the project to the physical features such as wetlands, streams, ponds, rock outcrops, etc.)
- \_\_\_ Color photos keyed to the basic site plan (i.e. showing on the site plan where and in what direction each photo was taken and the date of the photos)
- \_\_\_ Information about the presence and location of wetlands in the project area, and how this was determined

(e.g., by a qualified wetlands biologist), if wetlands are present in the project area, provide project plans showing the location of all project features, as well as wetlands and streams

\_\_\_\_The DEP permit(s) required for this project

#### 4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. For cases where a "Potential Impact" to threatened and endangered species has been identified before the application has been submitted to DEP, the application should not be submitted until the impact has been resolved. For cases where "Potential Impact" to special concern species and resources has been identified before the application has been submitted, the application should be submitted to DEP along with the PNDI receipt, a completed PNDI form and a USGS 7.5 minute quadrangle map with the project boundaries delineated on the map. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. DEP and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <http://www.naturalheritage.state.pa.us>.





8/16/05

**DECLARATION OF RESTRICTIONS**

**THIS DECLARATION OF RESTRICTIONS, made this 16<sup>th</sup> day of August 2005, by MIDDLETOWN TOWNSHIP, A Home Rule Municipality, Delaware County, Pennsylvania (Middletown).**

**BACKGROUND**

**Middletown is the owner of a Parcel of Land in Middletown, by virtue of a Special Warranty Deed, a legal description of which is attached hereto, made a part hereof, and marked Exhibit "A" and by virtue of a Quit-Claim Deed, a legal description of which is attached hereto, made a part hereof, and marked Exhibit "B" (The Property).**

**Middletown acquired title to the Property by Special Warranty Deed from I. R. Smedley & Co., a Limited Partnership, dated August 16, 2005, recorded in the Office of the Recorder of Deeds of Delaware County, in Volume \_\_\_\_\_, Page \_\_\_\_\_ et seq and by a Quit-Claim Deed dated August 16, 2005, recorded in the office of the Recorder of Deeds of Delaware County, in Volume \_\_\_\_\_, Page \_\_\_\_\_ et seq (The Smedley Deeds).**

**The legal description in the Special Warranty Deed (Exhibit "A") is the same legal description contained in the Deed to I. R. Smedley and Co., a Limited Partnership, dated November 27, 1989 and recorded in the Office of the Recorder**

Item	Unit	Quantity	Unit Cost	Cost	Comment
<b>PHASE 1 - Stabilization and trails</b>					
<b>PHASE 5 - Hiking Trails</b>					
<b>Site Preparation</b>					
Mobilization	LS	1	900	\$900	2% construction cost
E&S Controls	LS	1	1,400	\$1,400	3% construction cost
Stormwater Management	LS	1	2,300	\$2,300	5% construction cost
<b>Site Circulation</b>					
Hiking Trails - 4' Wide	SY	3,965	\$ 10.00	\$39,653	clearing and mulching
Bollard at trail access	EA	8	\$ 500.00	\$4,000	
Signage	EA	4	\$ 500.00	\$2,000	
<b>Structures</b>					
Bank Barn Stabilization	LS	1	51,500	\$51,500	
<b>Subtotal</b>				<b>\$101,753</b>	

**Total**      **\$101,753**  
 15% Contingency      **\$15,263**  
 15% Engineering Fee      **\$15,263**

**\$132,279**

**TOTAL SITE IMPROVEMENTS TOTAL**

Item	Unit	Quantity	Unit Cost	Cost	Comment
<b>PHASE 2 - FIELD "A" AREA</b>					
<b>Site Preparation</b>					
Mobilization	LS	1	8,800	\$8,800	2% construction cost
E&S Controls	LS	1	13,000	\$13,000	3% construction cost
Stormwater Management	LS	1	22,000	\$22,000	5% construction cost
Site Grading	SY	48,587	\$ 5.00	\$242,933	
<b>Site Circulation</b>					
Entrance Driveway Improvement	SY	456	\$ 32.75	\$14,938	8" stone base/2.5" binder/2" wearing
Parking Lot - 40 Spaces	SY	1,494	\$ 32.75	\$48,929	8" stone base/2.5" binder/2" wearing
Tire/ Wheel Stops	EA	40	\$ 100.00	\$4,000	
Parking Lot Stripping	LF	720	\$ 1.00	\$720	6" stone base/2.5" binder/2" wearing
Asphalt Walking Trail - 8' Wide	SY	1,852	\$ 30.80	\$57,028	
Asphalt Trail Connections - 5' Wide	SY	209	\$ 30.80	\$6,434	
Concrete Sidewalk - 5' Wide	SY	342	\$ 71.82	\$24,578	
<b>Field Development</b>					
Berm Fill	CY	495	\$ 30.00	\$14,843	
Fine Grading	SY	16,594	\$ 1.50	\$24,891	
Turf Seeding	SF	149,346	\$ 0.30	\$44,804	
<b>Plantings</b>					
Shade Trees	EA	30	\$ 500.00	\$15,000	
Evergreen Trees	EA	17	\$ 250.00	\$4,250	
Seeding	LB	63	\$ 322.00	\$20,286	
<b>Subtotal</b>				<b>\$567,434</b>	

**15% Contingency**      **Total**      **\$567,434**  
**15% Engineering Fee**      **\$85,115**  
**\$85,115**

**TOTAL SITE IMPROVEMENTS TOTAL**

**\$737,664**

Item	Unit	Quantity	Unit Cost	Cost	Comment
<b>PHASE 3 - ADDITIONAL PARKING / RESTROOM DEVELOPMENT</b>					
<b>Site Preparation</b>					
Mobilization	LS	1	4,000	\$4,000	2% construction cost
E&S Controls	LS	1	6,000	\$6,000	3% construction cost
Stormwater Management	LS	1	10,000	\$10,000	5% construction cost
<b>Site Circulation</b>					
Parking Lot - 60 Spaces	SY	2,727	\$ 32.75	\$89,302	8" stone base/2.5" binder/2" wearing
Tire/Wheel Stops	EA	60	\$ 100.00	\$6,000	
Parking Lot Stripping	LF	1,080	\$ 1.00	\$1,080	6" stone base/2.5" binder/2" wearing
Vehicular Gate	LS	1	\$ 2,500.00	\$2,500	
Asphalt Walking Trail - 8' Wide	SY	307	\$ 32.75	\$10,043	8" stone base/2.5" binder/2" wearing
Asphalt Walking Trail - 6' Wide	SY	616	\$ 30.80	\$18,973	6" stone base/2.5" binder/2" wearing
Asphalt Trail Connections - 5' Wide	SY	28	\$ 30.80	\$856	6" stone base/2.5" binder/2" wearing
<b>Plantings</b>					
Community Garden Structures	LS	1	\$ 5,000.00	\$5,000	
Shade Trees	EA	38	\$ 500.00	\$19,000	
Flowering Trees	EA	14	\$ 250.00	\$3,500	
Seeding	SF	5,788	\$ 0.10	\$579	
<b>Structures</b>					
Longview Residence	SF	1,172	\$ 56.00	\$65,632	
Test Barn Restrooms	SF	650	\$ 390.00	\$253,500	
Test Barn Community Room	SF	1,145	\$ 200.00	\$229,000	
<b>Subtotal</b>				<b>\$724,964</b>	

**Total**  
 15% Contingency      **\$724,964**  
 15% Engineering Fee      **\$108,745**  
    **\$108,745**

**TOTAL SITE IMPROVEMENTS TOTAL**

**\$942,454**





Item	Unit	Quantity	Unit Cost	Cost	Comment
<b>PHASE 6 - Main Barn Redevelopment</b>					
<b>Site Preparation</b>					
Mobilization	LS	1	11,300	\$11,300	2% construction cost
E&S Controls	LS	1	17,000	\$17,000	3% construction cost
Stormwater Management	LS	1	28,000	\$28,000	5% construction cost
<b>Site Circulation</b>					
Entrance Driveway - Gravel	SY	561	\$ 12.00	\$6,736	8" stone base
Asphalt Access Drive - 10' wide	SY	368	\$ 32.75	\$12,048	8" stone base/2.5" binder/2" wearing
Asphalt Walking Trail - 8' Wide	SY	162	\$ 30.80	\$4,990	
Stone Pillars / Fencing	LF	450	\$ 75.00	\$33,750	
Stone Walls	LF	115	\$ 150.00	\$17,250	
Stone Plaza	SF	766	\$ 25.00	\$19,150	
Arbor	LS	1	\$ 15,000.00	\$15,000	
<b>Plantings</b>					
Shade Trees	EA	6	\$ 500.00	\$3,000	
Shrub / Perennial Plantings	SF	725	\$ 4.50	\$3,263	
<b>Structures</b>					
Bank Barn	SF	5,140	\$ 225.00	\$1,156,500	
Hilltop Residence	SF	1,600	\$ 20.00	\$32,000	
Spring House Residence	SF	960	\$ 225.00	\$216,000	
<b>Subtotal</b>				<b>\$1,575,986</b>	

**Total**      **\$1,575,986**  
 15% Contingency      **\$236,398**  
 15% Engineering Fee      **\$236,398**

**\$2,048,782**

**TOTAL SITE IMPROVEMENTS TOTAL**

of Deeds of Delaware County, In Deed Book 2358, Page 964, I. R. Smedley and Co. having changed its name to I. R. Smedley & Co.

The legal description in the Quit-Claim Deed (Exhibit "B") is the legal description based on a Boundary Plan of Property for "Township of Middletown", prepared by G. D. Houtman & Son dated February 22, 2005, as last revised August 3, 2005 (The Boundary Plan). The Boundary Plan is attached hereto, made a part hereof, and marked Exhibit "C".

Middletown acquired the Property pursuant to the terms of an Agreement of Sale dated February 22, 2005. The Agreement of Sale provides that Middletown will execute a Declaration of Restrictions placing various restrictions upon various portions of the Property at the time of Closing. Closing is of even date herewith, thus this Declaration of Restrictions.

NOW THEREFORE, Middletown, intending to be legally bound hereby, does hereby declare:

1. There are four houses, a garage, two barns, a Communications Tower, a main access road (the Main Access Road) and an access road to the Communications Tower (the Communications Tower Access Road), as shown on the Boundary Plan, together with utility lines, including but not limited to sanitary sewer lines (The Utility Lines). The house designated as 746 Rose Tree Road has a garage appurtenant thereto, as shown on the Boundary Plan. The four houses on the Property and the immediate area surrounding each of the four houses, including the garage for Premises 746 Rose Tree Road, will continue to be used as single family dwellings. The Main Access Road shall continue to serve three

of the four houses, the garage, the two barns and as an entrance and exit to the Communications Tower Access Road. The Main Access Road and Communications Tower Road, with extensions thereto, may also be used to serve Field Area "A" and Field Area "B" hereinafter identified. The four houses, garage and two barns on the Property will not be expanded; provided, however, Middletown shall have the right to demolish any one or more or all of the four houses, the garage and either or both of the barns and re-build any one or more of the houses, the garage or the barns within the existing foot prints of the houses, the garage or the barns and install new Utility Lines.

2. The two barns on the Property and the immediate area surrounding the barns are restricted to the following uses and no other:

- A. Storage of field maintenance equipment and supplies.
- B. Storage of sports equipment.
- C. Bathrooms.
- D. Park Offices.
- E. Meeting area for classes, special programs and events etc.
- F. Arts and Crafts workshop and gallery area.
- G. Kitchen/food service area to support building and outdoor activities related to the Property.
- H. Nature or historical interpretive display area.
- I. Sales area for educational or community items associated with the property use.
- J. Community Center but not including indoor athletic facilities.

- K. Shower/Locker facilities for staff but not for athletic teams.**
- L. Library.**
- m. Utility Lines.**

**3. The Communications Tower on the Property has an area of ± 2,479 S.F. surrounding the Communications Tower and The Communications Tower Access Road which intersects with the Main Access Road, all as shown on the Boundary Plan (the Communications Tower and Appurtenances). The Communications Tower and Appurtenances are restricted to use as a Communications Tower and Appurtenances, provided, however, Middletown shall have the right to remove the Communications Tower after January 1, 2006 and replace it with another Communications Tower at the same location.**

**4. There are two areas of proposed recreation playing fields on the Property. The two areas of recreation playing fields are designated Field Area "A" and Field Area "B", as shown on the Boundary Plan.**

**A legal description of Field Area "A", consisting of ± 10 acres, is attached hereto, made a part hereof, and marked Exhibit "D". A legal description of Field Area "B", consisting of ± 11.1 acres, is attached hereto, made a part hereof, and marked Exhibit "E". Field Area "A" and Field Area "B" are hereby restricted to and for the following purposes and no other:**

- A. Active recreation playing fields not containing any stands, lights or structures of any kind, other than temporary goals and team benches which will be removed and stored daily, Parking Area or Areas and driveway access thereto with appropriate safety lights and bathroom facilities related to the recreation playing fields within the houses or barns and Utility Lines. The Parking Area or Areas will be landscaped with a minimum of six (6) foot high evergreen**

**trees, at the time of planting, to act as a visual screen from the Smedley/Penncrest Farm House and/or Crest Cottage located on the North side of Rose Tree Road. The parking areas shall not exceed 3 acres.**

**5. Excepting Field Area "A", Field Area "B", the four houses, garage, two barns, the Main Access Road, the Communications Tower and Appurtenances, and extensions of the Main Access Road and Communications Tower Access Road to Field Area "A" and Field Area "B" and the Immediate areas surrounding the houses, garage and barns and existing and future Utility Lines, the remaining area of the Property is hereby restricted to, and for the following uses and no other:**

- A. Open Space, preservation and maintenance of the land, water, trees and vegetation.**
- B. Passive recreational and educational purposes, limited to walking, biking, jogging, cross-country skiing and nature study.**

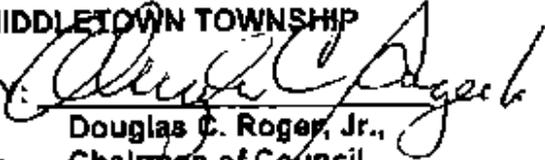
**6. The above restrictions shall run with the Property and shall not be modified, amended or rescinded while Walter Smedley, Jr., his spouse or any of their presently living descendants listed on Exhibit "F" attached hereto and made a part hereof, reside in property across Rose Tree Road from the Property known as Penncrest Farm and/or Crest Cottage and thereafter only if such amendment or rescission is authorized by an affirmative vote of seventy percent of the persons voting at a special, primary or general election held in Middletown, wherein a ballot question shall precisely describe the proposed modification, amendment or rescission.**

7. This Declaration shall be binding upon Middletown, its successors and assigns.

8. This Declaration shall be governed by the laws of the Commonwealth of Pennsylvania.

MIDDLETOWN, Intending to be legally bound hereby, has caused this Declaration to be executed the day and year above written.

MIDDLETOWN TOWNSHIP

BY: 

Douglas C. Roger, Jr.,  
Chairman of Council

ATTEST: 

W. Bruce Clark,  
Township Manager

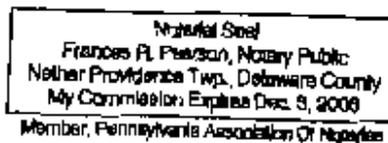
COMMONWEALTH OF PENNSYLVANIA :  
: ss  
COUNTY OF DELAWARE :

On the *16<sup>th</sup>* day of *August* A.D. 2005, before me, a Notary Public,

the undersigned Officer, personally appeared DOUGLAS C. ROGER, JR. and W. BRUCE CLARK, who acknowledged themselves to be Council Chairman and Township Manager of Middletown Township, the party named in the foregoing Declaration of Covenants and Restrictions, and that they as such Officers, being authorized to do so, executed the foregoing Declaration of Covenants and Restrictions for the purposes therein contained and desire the same be recorded as such.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

*Frances R. Pearson*  
Notary Public



ALL THAT CERTAIN tract or parcel of land with the buildings and improvements thereon erected, Situate in the Township of Middletown, County of Delaware and State of Pennsylvania and described according to a Plan of Property of Ida R. S. Balderston, made by G. D. Houtman and Son, Civil Engineers, Media, Pennsylvania, as follows:-

BEGINNING at the point formed by the intersection of the center line of Rose Tree Road (33 feet wide) with the Northerly side of Middletown Road (33 feet wide); thence extending from said beginning point along the center line of Rose Tree Road the four following courses and distances: (1) North 53 degrees East 569.08 feet to a point; (2) North 53 degrees 42 minutes East 1,279.58 feet to a point; (3) North 28 degrees 37 minutes East 253.44 feet to a stone; and (4) North 56 degrees East 250.14 feet to a point; thence leaving said Rose Tree Road and extending along line of lands now or late of G. W. Patchell the two following courses and distances: (1) South 52 degrees 45 minutes East 1,501.50 feet to a stone; and (2) North 44 degrees East 1,221 feet to a point; thence extending South 39 degrees East along line of lands now or late of Waldo M. Clafin, 504.24 feet to a stone; thence extending South 54 degrees 30 minutes West along line of lands now or late of J. Louis Moore and Edgar C. Lyons 2,656.50 feet to a stone; thence extending along line of lands now or late of George McCall the two following courses and distances: (1) North 34 degrees 45 minutes West 896.28 feet to a stone; and (2) South 53 degrees 45 minutes West 823.68 feet to a stone on the Northeasterly side of Middletown Road (33 feet wide); thence extending along the same North 58 degrees 30 minutes West 706.20 feet to a point, an angle; thence extending along the Northerly side of Middletown Road, aforesaid, South 83 degrees West 242.22 feet to the first mentioned point and place of beginning.

27-00-02452-00



March 18, 2005

LEGAL DESCRIPTION for the Township of Middletown.

ALL THAT CERTAIN parcel of ground SITUATE in the Township of Middletown, County of Delaware and Commonwealth of Pennsylvania described according to a Boundary Plan of Property for Township of Middletown prepared by G. D. Houtman & Son, Inc., Civil Engineers and Land Surveyors dated February 22, 2005 last revised March 14, 2005, as follows:

BEGINNING at a point of intersection of the southwesterly property line of Nicolas A. Golato Jr., with the southeasterly right-of-way line of Rose Tree Road (SR 4002 - 33 feet wide); the said point being measured 17.48 feet South 51 degrees 59 minutes 26 seconds East from a point on the centerline of Rose Tree Road; the last mentioned point being corner of lands of Nicolas A. Golato Jr; thence from the point of beginning and along lands of Nicolas A. Golato Jr and along lands of David H. C. and Dorothy Millner and crossing over a found iron pipe South 51 degrees 59 minutes 26 seconds East 614.83 feet to a found stone; thence along lands of David H. C. and Dorothy Millner South 51 degrees 42 minutes 00 seconds East 357.44 feet to a found pipe; thence along lands of Charles S. McFall and along lands of Michael L & Barbara A. Laurenzi and crossing the terminus of Lantern Lane (50 feet wide) South 52 degrees 27 minutes 26 seconds East 515.50 feet to a found stone; thence along lands of various owners and crossing the terminus of Spring Run (a paper street 50 feet wide) North 45 degrees 41 minutes 04 seconds East 1,227.15 feet to a set pipe; thence along lands of Stephen K. Pahides and crossing a twenty feet wide sanitary sewer easement South 36 degrees 57 minutes 41 seconds East 494.75 feet to a found monument; thence along lands of various owners and crossing the terminus of a future right-of-way (50 feet wide) South 54 degrees 30 minutes 00 seconds West 1,543.55 feet to a found stone; thence along lands of various owners and crossing the terminus of Penn Charter (50 feet wide) South 54 degrees 30 minutes 00 seconds West 1,144.55 feet to a found monument;

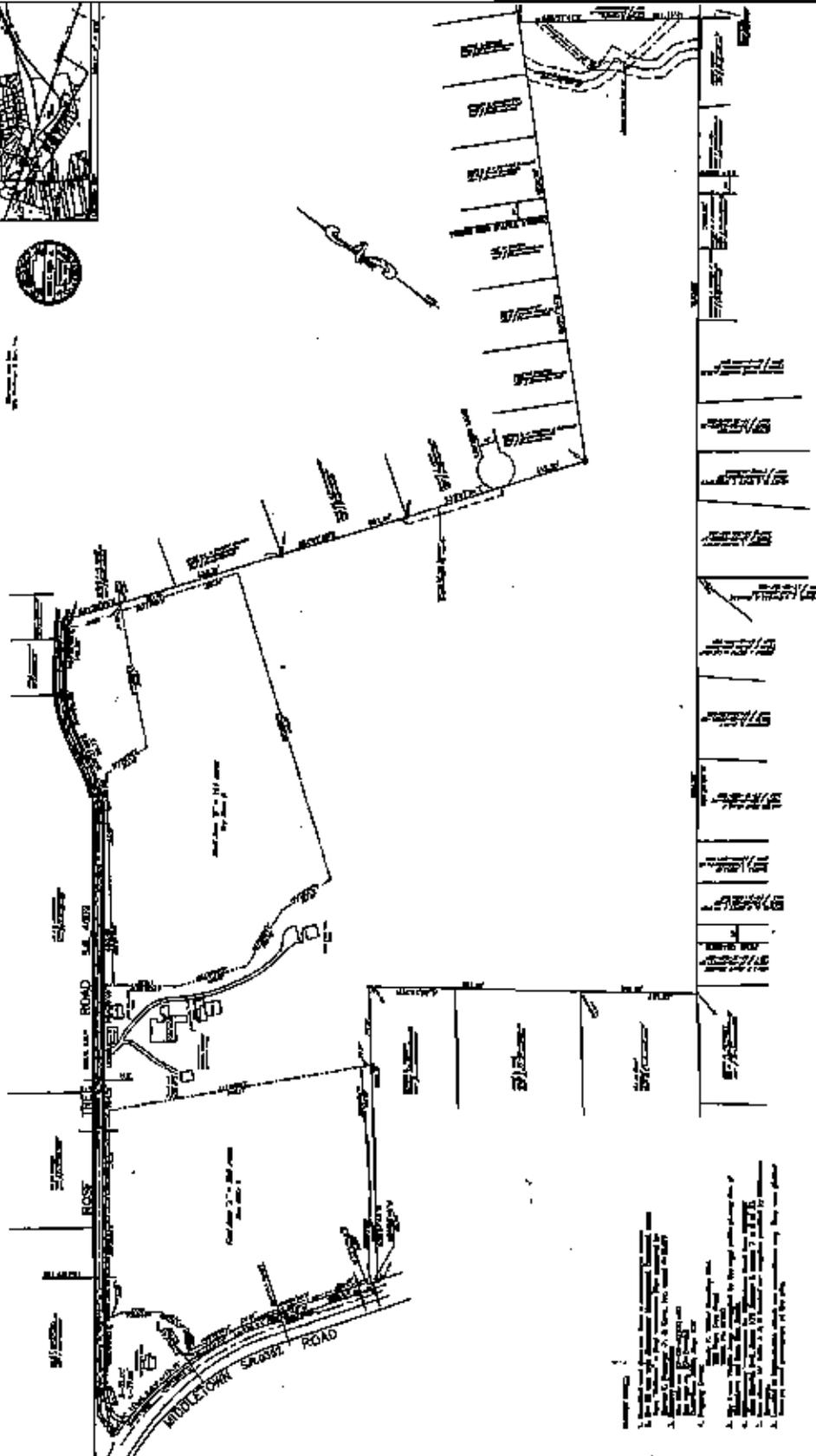


thence along lands of Ira M. Dury North 34 degrees 04 minutes 12 seconds West 319.49 feet to a found monument; thence along lands of Anne L. Pike and along lands of Maximo R. Victoria North 34 degrees 04 minutes 12 seconds West 582.08 feet to a set pipe; thence along lands of Maximo R. Victoria South 52 degrees 57 minutes 48 seconds West 809.36 feet to a set pipe on the northeasterly right-of-way line of Middletown Road (SR 0352 - of varying widths); thence along the said right-of-way line of Middletown Road the six (6) following courses and distances: (1) North 54 degrees 06 minutes 48 seconds West 26.46 feet to a point (2) North 35 degrees 53 minutes 12 seconds East 5.00 feet to a point (3) North 54 degrees 06 minutes 48 seconds West 282.84 feet to a point of curve (4) along an arc of a circle to the left of radius 854.02 feet an arc distance of 226.44 feet to a point (5) South 20 degrees 41 minutes 42 seconds West 10.00 feet to a point of curve and (6) along an arc of a circle to the left of radius 844.02 feet an arc distance of 236.37 feet to a point of reverse curve; thence along an arc of a circle to the right of radius 35.00 feet an arc distance of 77.04 feet to a point of tangency on the southeasterly right-of-way line of Rose Tree Road; thence along the same the seven (7) following courses and distances: (1) North 38 degrees 47 minutes 13 seconds East 55.50 feet to a point (2) North 54 degrees 04 minutes 00 seconds East 904.21 feet to a point (3) North 54 degrees 30 minutes 00 seconds East 650.59 feet to a point of curve (4) along an arc of a circle to the left of radius 356.50 feet an arc distance of 162.09 feet to a point of tangency (5) North 28 degrees 27 minutes 00 seconds East 73.73 feet to a point of curve (6) along an arc of a circle to the right of radius 408.50 feet an arc distance of 205.57 feet to a point of tangency and (7) North 57 degrees 17 minutes 00 seconds East 141.76 feet to the first mentioned point and place of beginning.

CONTAINING 76.614 Acres.



ALL RIGHTS RESERVED  
 THIS PLAN IS THE PROPERTY OF THE  
 PLANNING AND ZONING DEPARTMENT  
 AND IS NOT TO BE REPRODUCED OR  
 COPIED IN ANY MANNER WITHOUT  
 THE WRITTEN PERMISSION OF THE  
 PLANNING AND ZONING DEPARTMENT  
 ALL RIGHTS RESERVED



Planning and Zoning  
**TOWNSHIP OF MIDDLETOWN**  
 PLANNING AND ZONING DEPARTMENT  
 100 N. 1st St.  
 Middletown, TN 37051  
 Phone: (615) 884-1234  
 Fax: (615) 884-5678  
 Website: www.middleton-tn.gov

PROJECT NO. 12345  
 DATE: 10/26/2023  
 DRAWN BY: J. Smith  
 CHECKED BY: A. Jones  
 APPROVED BY: M. Green

SCALE: 1" = 100'  
 NORTH ARROW

ALL RIGHTS RESERVED  
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July 19, 2005

LEGAL DESCRIPTION OF Field Area "A" for Middletown Township.

ALL THAT CERTAIN parcel of ground SITUATE in the Township of Middletown, County of Delaware and Commonwealth of Pennsylvania described according to a Boundary Plan of Property for Township of Middletown prepared by G. D. Houtmann & Son, Inc., Civil Engineers and Land Surveyors dated February 22, 2005 last revised March 14, 2005, as follows:

BEGINNING at an interior point; the said point being measured 29.21 feet North 45 degrees 20 minutes 00 seconds West from a point along lands now or late of Maximo R. Victoria; The last mentioned point being measured along lands of Maximo R. Victoria 244.07 feet North 52 degrees 57 minutes 48 seconds East from a set pipe on the Northeasterly right-of-way line of Middletown Road (S.R. 0352/of varying widths); thence from the point of beginning South 50 degrees 10 minutes 00 seconds West 339.13 feet to a point; thence South 55 degrees 50 minutes 00 seconds West 244.07 feet to a point; thence North 54 degrees 00 minutes 00 seconds West 291.37 feet to a point; thence North 60 degrees 50 minutes 00 seconds West 232.25 feet to a point; thence North 45 degrees 50 minutes 30 seconds East 59.27 feet to a point; thence North 5 degrees 00 minutes 00 seconds West 86.95 feet to a point; thence North 36 degrees 30 minutes 00 seconds West 112.33 feet to a point; thence North 67 degrees 00 minutes 00 seconds West 35.81 feet to a point; thence North 54 degrees 50 minutes 00 seconds East 571.73 feet to a point; thence South 45 degrees 20 minutes 00 seconds East 703.36 feet to the first mentioned point in place of beginning.

Being known as Field Area "A" containing 10.0 acres.



July 19, 2005

LEGAL DESCRIPTION OF Field Area "B" for Middletown Township.

ALL THAT CERTAIN parcel of ground SITUATE in the Township of Middletown, County of Delaware and Commonwealth of Pennsylvania described according to a Boundary Plan of Property for Township of Middletown prepared by G. D. Houtmann & Son, Inc., Civil Engineers and Land Surveyors dated February 22, 2005 last revised March 14, 2005, as follows:

BEGINNING at an interior point; the said point being measured at 21.00 feet South 44 degrees 20 minutes 00 seconds West from a point along lands now or late of Nicolas A. Golato Jr.; the said point being measured along lands of Nicola A. Golato Jr. 170.16 feet South 51 degrees 59 minutes 26 seconds East from a point on the center line of Rose Tree Road (S.R. 4002/33 feet wide); The last mentioned point being corner lands of Nicolas A. Golato Jr.; thence from the point of beginning South 53 degrees 20 minutes 00 seconds East 336.29 feet to a point; thence South 37 degrees 50 minutes 00 seconds West 886.39 feet to a point; thence North 68 degrees 30 minutes 00 seconds West 159.22 feet to a point; thence South 87 degrees 00 minutes 00 seconds West 176.18 feet to a point; thence North 51 degrees 30 minutes 00 seconds West 197.69 feet to a point; thence North 34 degrees 20 minutes 00 seconds West 177.16 feet to a point; thence North 52 degrees 20 minutes 00 seconds East 579.89 feet to a point; thence South 69 degrees 00 minutes 00 seconds East 133.10 feet to a point; thence North 44 degrees 20 minutes 00 seconds East 385.14 to the first mentioned point in place of beginning.

Being known as Field Area "B" containing 11.1 acres.

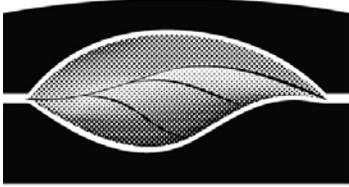


List of Smedley Descendants Who Might Live In the  
House known as Pennoreat Farm and/or Crest Cottage.

1. Walter Smedley, Jr. and his spouse.
2. Walter Smedley III and his spouse.
3. Walter Smedley IV and his spouse.
4. Rebecca Smedley and her spouse.
5. Sarah Jane Smedley and her spouse.
6. Stephanie Smedley Scanga and her spouse.







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## Public Comment

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Project: **Smedley Tract Site Master Plan** Project #: **09076.10**  
Location: **Middletown Township Building** Date: **6/24/2010**

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1) November 16, 2009:

Hello,

I am new to the community and saw the opportunity to give an idea for the new township park. I think Middletown Township could provide an off leash dog park. I am not aware of any local free off leash dog parks, so the park would be of benefit to current residents.

### Benefits

- Community members would have a safe and legal (to be off leash) avenue for giving pets exercise
- Consolidates pets from other sections of the park, making open fields and running trails more usable to the general public (no dog interference)
- Provides a location for members of the community to discuss recent and upcoming events
- Once established, the dog park requires little maintenance. Typically the park will need new mulch on occasion. Many dog owners / park users (from experience) would volunteer to help spread the mulch and care for the area.

### Proposal

The off leash dog park could be something as small as 1-2 acres fenced with chain link fence, perhaps split between a "large dog" and "small dog" park. Each area could have a few sitting benches for dog owners to converse. The field could be filled with mulch. Clean up bags could be provided, as well as a trash can. Water could optionally be provide, but many dog owners bring jugs of water to dog parks, so it is not necessary. It is important that the fenced in area drains well, since a muddy area will deter dog owners from visiting in the days after it rains. One "close" dog park that can be used as a model is the Talley Day dog park - located at 1300 Foulke Road in Wilmington DE (behind the library).

Again, I am just passing this idea along to the committee. If you need any further details or clarifications, please let me know.

Regards,

Bill Solomon

Glen Riddle Road

2) December 16, 2009:

Dear Everyone,

An observation and a thought which struck me after listening to everyone last night.

Viewing this parcel of land in a larger context, because of its uniqueness may be very important. There was the odd-ish question asked last night " highest and best use", but this question might just be on to something.

I spoke to Walter Sr. after the meeting and he said an interesting thing. I am paraphrasing " the highest and best use for this land, in the long term prospective, is very hard to see, and hard to put your finger on that spark, on that use.

This farm-stead is located at the pinnacle of our township, the highest point. there is no other piece of land with this distinction.

To develop the park with out this in the for-front of our minds would be a misfortune.

To see it as another place to put needed ball fields, might be a disservice to the true "nature" of this unique piece of land.

Community gathering spots around sports is a great use and service for, and, to the community. We do have these kind of spaces in the township.

We also have passive open space in the community.

My question is, what kind of gathering places do we "not" have, and can this unique piece of land and buildings meet this need as no other parcel ever can or will?

Here is an opportunity in the smack-dab middle and highest point of our township with terribly cool history, ready for those ideas which will maximize this advantage.

Sincerely

Peter Wolff

3) December 16, 2009:

Thank you for your public meeting last night to update the community on the status of the Smedley park discussions. A few comments:

Architects suggested softball diamonds in Plots A and B without ability to have backstops and fences this appears to just be a lawsuit waiting to happen in our ultra-litigious society; every other field at a school or park has a backstop and would believe we would be inviting a lawsuit first time a kid is hit with a foul ball portable backstops would be an option, but I don't believe a viable option you could limit the age group that could use the diamonds to reduce this risk – but then is it worthwhile for the diamonds to even be built?

Suggesting development of Plot A and B for field space as we have hundreds of kids in Rose Tree Soccer and Lacrosse programs with limited field availability

Desire to have storage space for nets for both Soccer and Lacrosse

Lastly, would suggest that you have some communication with Rose Tree Soccer and Rose Tree Optimist programs (and field hockey if there is a Rose Tree program) to get their input on field size, shape, and needs before a decision is made for the field space. You may have already done this but I did not see either program listed on the Simone Collins Agenda from last night's meeting

Regards,

Robert Schultz

Chief Financial Officer

4) January 14, 2010:

I would first apologize for my late comments as i could not make any of the public meetings due to family illness. I finally went to visit the site this evening for a first hand look at the area. I have also read the latest minutes of the meetings.

Based on my review, I would suggest the township do little on this tract and cut their losses. I make this recommendation based on a couple points.

First, the cost quoted in the last minutes to protect the roof of the barn would seem to me to be quite understated. From my cursory external review of the barn, that roof is not structurally sound and even for a temporary "fix" tarp or fiberglass panels, there would seem to be a requirement to make it sound before doing any work. Granted, placing a tarp over it for 3 years and then replacing it possibly, if it will take that long for final plans, may not require structural work but it will need replacement, possibly before 3 years based on weather conditions, high winds, etc which could damage the tarp. I believe the costs stated in the minutes are very understated.

Who are the intended users of the fields proposed? No "organized" group can use them because they will not have the required appurtenances, such as bleachers, food stands, fences, etc. as these are considered permanent structures. Therefore, who will the fields benefit and will it be worth the expense. Use of a temporary fencing for the fields will probably not be palatable to "organized" users of the fields either and would be an eyesore.

The idea of leaving residences on the property would seem to be a potential problem as far as interference with activities and possible complaints from those residents.

Raising funds to do the work and asking for volunteers could also be a problem. The majority of the work needed is not work that volunteers would do, it is mainly structural work, roof work that trained professionals would be needed to do. Then you have the issue of liability insurance that would probably be needed for those volunteer workers.

This is not a simple fix to a problem. The "deal" struck, in my opinion has left the Township holding the bag and possibly forcing them to do something as those structures will have to be maintained to avoid possible accidents and harm to residents if there is a collapse.

Based on a review of the deed restrictions, there is little else that can be done to provide for township residents use other than a nature area.

I would recommend that the township do as; little as possible and divert those potential funds to another area. Rehab work is inherently more expensive than "from scratch" development and could be used much more wisely.

John Bartholomeo

[jbartster@verizon.net](mailto:jbartster@verizon.net)

5) January 17, 2010:

Hello

My name is David Ferrell. I am interested in farming the Smedley Tract. The land is in need of rehabilitation as the soils have been heavily depleted due to the cropping system being employed in the former decades. I would like to make a proposal to Middletown Township to preserve the land for agriculture. I am willing to restore the soils fertility through holistic methods and productively farm the land with highly value vegetables and niche market crops for local consumption. There as a national

resurgence going on in agriculture. Chefs, institutions, and the general citizenry are hungry for sound local food systems. Why not be a leader in Delco by preserving this unique historical gem by returning it to a functioning, productive, and diversified farm that feeds the masses and well as educates? Giving township residents access to community garden plots in a section of the land could enrich community vibrancy.

Want good food in the schools?

Check out all of the funding and support that is available from the farm-to-school foundation (<http://www.farmtoschool.org/>) . This land could serve as a living outdoor classroom to local schools in the fields of biology, ecology, and health/nutrition education.

I am willing to be the link that coordinates this effort. My agriculture network is large, and i can assemble a team of entrepreneurs, young farmers, businesses, and teachers that can facilitate the transition from a fallow waste site to a thriving community agriculture center. Imagine the possibilities- "middletown grown" products garnering higher price in local restaurants and grocery stores, access to garden plots for township residents, and educational programs that support our youth and enrich their lives.

what do you think?

All the best,

David

-- "I had rather be on my farm than be emperor of the world"

- George Washington

"If you tickle the earth with a hoe she laughs with a harvest."

- Douglas William Jerrold

**From:** Julia R. Dutton [mailto:dutton654@yahoo.com]

**Sent:** Tuesday, May 11, 2010 9:49 PM

**To:** parkplan@middletowntownship.org

**Subject:** concerns

Dear Planning Committee: I have just reviewed the information available on the web-site concerning the development of the Smedley tract at the end of Rosetree Road. As a resident on this road i was concerned to note that there has been no mention in the minutes thus far, of the traffic impact on Rosetree Road itself once this site is fully developed. Already traffic is an issue on this road. There is a great deal of fast traffic - well beyond the speed limit by those going to and from the school and the mall etc. It is a major concern for me that this is a situation about to be made worse. I would like to know if there are any plans to manage the increased traffic that we can expect from the addition of ballfields etc to the park - especially as the plans seem to call for an entrance and parking off Rosetree Road and not as might be expected off Middletown Road.

Has any consideration been given thus far to the impact on a residential area from this development?

Julia R. Dutton 654 West Rosetree Rd., Media PA 19063 USA

**From:** Karla Schuette Read [mailto:karlasread@gmail.com]  
**Sent:** Tuesday, May 11, 2010 8:22 PM  
**To:** parkplan@middletowntownship.org  
**Subject:** plan

Congratulations -- It looks so exciting. I am very proud of the wonderful land that is being saved in Middletown.

Karla Read

**From:** BRENDAN NEWMAN [mailto:newms4@verizon.net]  
**Sent:** Wednesday, May 12, 2010 1:30 PM  
**To:** parkplan@middletowntownship.org  
**Subject:** Question, Comment, & Proposal

Question: So, there's **3 Softball** fields and **nooo baseball fields?????????????**

Comment: That's extremely unfair; it's exclusionary and thus, unacceptable.

Proposal: Please convert and re-angle the #13 softball field into a 90 foot base path baseball field. Angle the #13 baseball field clockwise, so there'll be at least 300 plus feet down the left field line. The diamonds outfield will overlap with the soccer field and maybe even a little of the #15 softball field, but at least everyone will be included. Thank you.

676 West Rose Tree Road

Media. PA. 19063

04/11/2010

Meredith Merino  
Assistant Manager  
Middletown Township  
27 N. Pennell Road  
LIMA. PA 19037

Dear Meredith Merino,

#### SMEDLEY TRACT

This letter is a follow-up on my wife Dorothy Milliner's conversation with you regarding the proposed development of the nature trail through the Smedley Tract Master Site Plan Presentation.

We make the following observation and request.

We note that though the copy of the proposed trail map (Phase 1) may not be strictly to scale, and the property lines are not entirely accurate, there are loops to the trail that come very close to our western property line. (676 West Rose Tree Road, Media)

We are specifically interested in the loop, which looks like it is right opposite and close to our house and "back yard", outside family living area, patio and pool. The loop in the field (Phase 5) nearest to W. Rose Tree Road also looks like it comes close to our line.

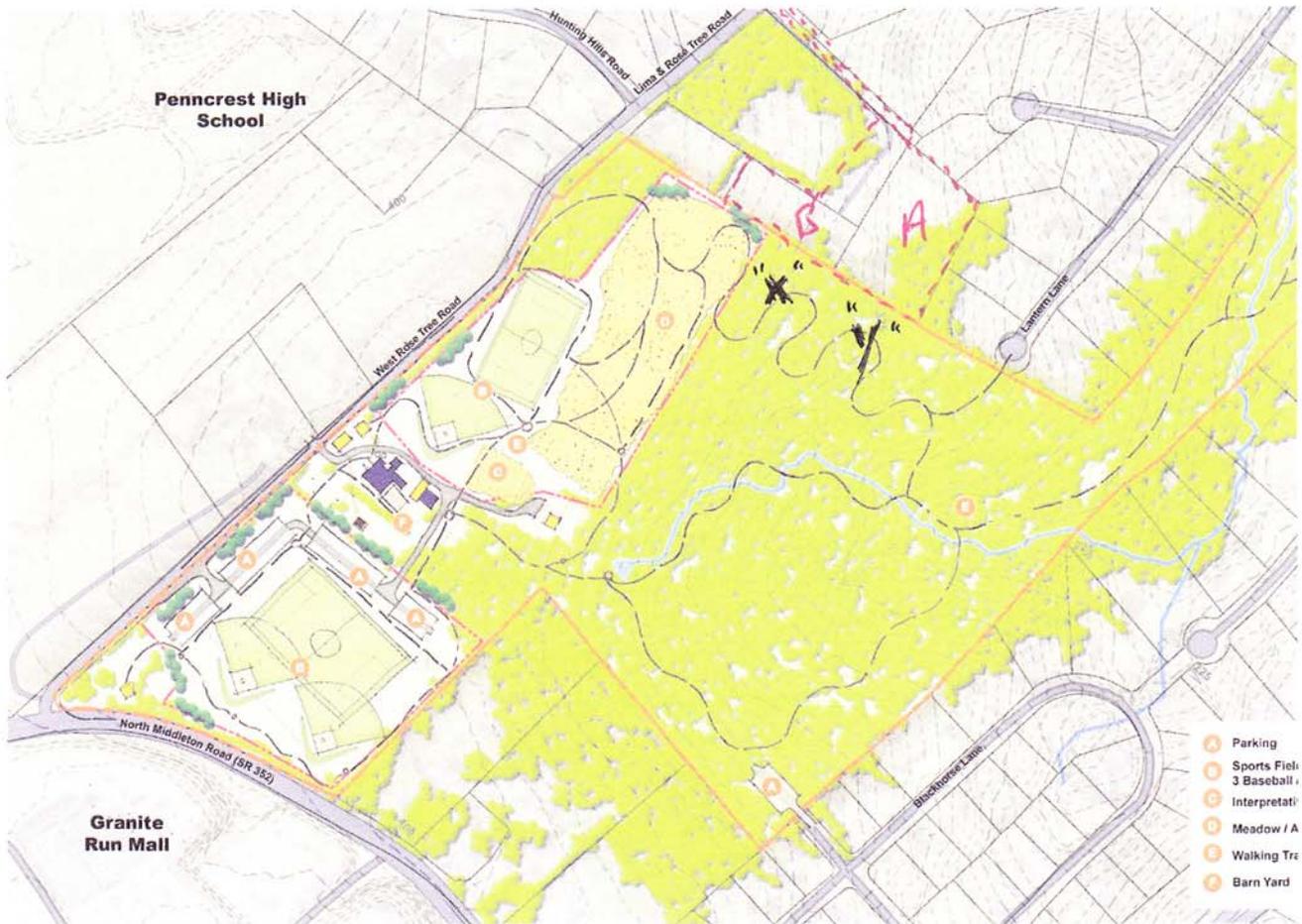
This situation has the potential to severely change the degree of privacy, setting and intrinsic value which the property has enjoyed since its' beginnings in 1941.

We are formally requesting that the planners re-draw the "loops" to run further back from the aforementioned property line by at least 100 yards. We request that the planners let us have a time table as to the creation of the trail thus allowing us time to plan our own landscaping strategies as needed. Furthermore we request that the planners consider the long-term effects of the proposed trail layout. The present wilderness that backs up to our property and those who live on the end of Lantern Lane has long been a barrier to unwanted visitation and the like, and perhaps opening up of this area may well have an impact on the overall security of the area.

I am including here a copy of the trail map supplied by the township with highlighted markings of the areas of concern.

Respectfully,

David and Dorothy Milliner.



**SIMONE**  
**COLLINS** **SMEDLEY TRACT MASTER SITE PLAN**  
 Middletown Township, Pennsylvania - SC# 09076.10  
 December 15, 2009

See in Red:  
 Property so marked "A + B" with Corrected lines of  
 property boundary that encompass 676, West Rose Tree Rd.

Trail markings "x" + "y"

These marks represent loops of nature trail that  
 The Milliners request be formed further away  
 from their western property line.



# MIDDLETOWN TOWNSHIP HISTORICAL SOCIETY

PO BOX 203, LIMA, PA 19037

[www.mthsdelco.org](http://www.mthsdelco.org)

## STATEMENT TO THE PUBLIC PLANNING MEETING FOR THE SMEDLEY TRACT

March 16, 2010

The Middletown Township Historical Society encourages the Township Council to live up to the intent of the purchase agreement made with the Smedley family with regard to the structures on the property. While not adding specific language to the deed, it is our feeling that the Smedley family intended that the Township would maintain the structures up to code, keep them in good physical repair and rent them to tenants who would care for them, rather than allowing them to fall into ruin and be destroyed by demolition through neglect. We fully support the recommendations of the Simone Collins planning team and it is our hope that the Township Council will quickly take all measures to secure and preserve the extant structures on the Smedley tract.

We have already lost too many of our 17th, 18th and 19th-century buildings in Middletown. With no zoning ordinance currently in place in the Township to safe-guard our historic buildings, structures such as Maple Linden on the grounds of Lima Estates are being allowed to decay to the point of condemnation. Within Delaware County, Middletown Township is one of the few governmental entities not to have a historic designation for properties and the Middletown Township Historical Society sees it as our mission to work toward this goal. Committing to preservation of the structures on the Smedley Tract is a step in the right direction.

Further, The Historical Society is on record as expressing our interest in turning the currently unoccupied house located on the Smedley tract at the corner of Middletown and Rose Tree Roads into the Historical Society's home, thereby allowing the Historical Society to preserve and improve one of the buildings on the site at little to no expense to the Township. If the current deed restriction can be amended to allow this to happen, we plan to use a part of this building as a museum where the history of the Smedley family could be presented and tied into the park. The society is optimistic that we can work with the Township to achieve this goal.

Sincerely, Susan Mascanti, President  
Mary Anne Eves, Vice President  
Anthony Ieradi, Treasurer  
Michael R. Benson, Secretary